



## **WESTERN CAPE NATURE CONSERVATION BOARD**

**MAINTENANCE AND ADDITIONAL WORKS TO OUDEBOSCH CABINS AT  
KOGELBERG NATURE RESERVE**

**CONTRACT NO: WCNCB 07/10/2023**

<b>TENDERER</b>	
<b>TEL NO.</b>	
<b>FAX NO.</b>	
<b>EMAIL:</b>	
<b>TENDER AMOUNT</b>	
<b>COMPLETION PERIOD</b>	

**October 2023**



Private Bag X29  
Gatesville  
7766  
Tel no: (087) 087 3175  
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**WESTERN CAPE NATURE CONSERVATION BOARD**  
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<b>PART T1: TENDERING PROCEDURES</b>
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**T1.1      Tender Notice and Invitation to Tender**

**T1.2      Tender Data**

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<b>T1.1: TENDER NOTICE AND INVITATION TO TENDER</b>
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Tenders are for the **MAINTENANCE AND ADDITIONAL WORKS TO OUDEBOSCH CABINS AT KOGELBERG NATURE RESERVE.**

Tender documents are obtainable at <https://www.capenature.co.za/tender-and-bid-information/> No hardcopy documentation, electronic only.

It is estimated that contractors should have a CIDB grading of **4GB** or higher.

A compulsory clarification meeting with representatives of the employer will be held on Tuesday, 24 October 2023. The meeting will be held at **Kogelberg Nature Reserve** GPS: 34°19'21.0"S 18°57'58.2"E. The meeting will commence at 11h00 promptly. No late attendance will be considered.

Completed tenders in a sealed envelope marked **WCNCB 07/10.2023: MAINTENANCE AND ADDITIONAL WORKS TO OUDEBOSCH CABINS AT KOGELBERG NATURE RESERVE** must be placed in the tender box at **3<sup>RD</sup> Floor, PGWC Shared Services Centre, Corner Bosduif and Volstruis Streets, Bridgetown, Athlone** before **11:00 on Friday, 10 November 2023** whereafter the tenders will be opened. **Electronic submission of bids is also allowed before 11:00 on Friday, 10 November 2023. Electronic bids can be submitted to [tenders@capenature.co.za](mailto:tenders@capenature.co.za).**

The 80/20 preferential procurement system will be used when considering tenders.

Bidders are required to be CSD and WCSEB registered prior to any award.

CapeNature reserves the right not to accept the lowest or any tender. No telegraphic, telephonic, telex, facsimile, and late tenders will be accepted. All late submissions will be returned unopened.

Mr Ramese Mathews can be contacted for any technical enquiries regarding this tender at tel. no. 087 087 3175 or [rmathews@capenature.co.za](mailto:rmathews@capenature.co.za).

## WESTERN CAPE NATURE CONSERVATION BOARD

### MAINTENANCE AND ADDITIONAL WORKS TO OUDEBOSCH CABINS AT KOGELBERG NATURE RESERVE

CONTRACT NO. CONTRACT NO: WCNCB 07/10/2023

#### T1.2: TENDER DATA

The Conditions of Tender are the Standard Conditions of Tender as contained in Annexure F of the CIDB Standard for Uniformity in Construction Procurement (refer: [www.cidb.org.za](http://www.cidb.org.za)) and included as Appendix A in this document.

The Standard Conditions of Tender make several references to the Tender Data. The Tender Data shall have precedence in the interpretation of any ambiguity or inconsistency between it and the Standard Conditions of Tender.

Each item of data given below is cross-referenced to the clause in the Standard Conditions of Tender to which it mainly applies.

Clause	Wording
F.1.1	The employer is the WESTERN CAPE NATURE CONSERVATION BOARD
F.1.2	<p>The tender documents issued by the employer comprise:</p> <p><b>PART T1: TENDERING PROCEDURES</b></p> <p>T1.1: Tender Notice and Invitation to Tender</p> <p>T1.2: Tender Data</p> <p><b>PART T2 : RETURNABLE DOCUMENTS</b></p> <p>T2.1: List of Returnable Documents</p> <p>T2.2: Returnable Schedules</p> <p><b>PART C1: AGREEMENTS AND CONTRACT DATA</b></p> <p>C1.1: Form of Offer and Acceptance</p> <p>C1.2: Contract Data</p> <p>C1.3: Form of Guarantee (Pro Forma)</p> <p><b>PART C2 : PRICING DATA</b></p> <p>C2.1: Pricing Data</p> <p>C2.2: Bills of Quantities</p> <p>C2.3: Daywork Schedule</p> <p><b>PART C3 : SCOPE OF WORKS</b></p> <p>C3: Scope of Works</p> <p>C3.1: Description of the Works</p> <p>C3.2: Architecture</p> <p>C3.3: Construction</p> <p>C3.4: Management</p> <p><b>PART C4 : SITE INFORMATION</b></p>
F.1.4	The Employer's agent is N/A:
F.2.1	Tenderers who satisfy the following criteria may be considered:
F.2.1.2	<p>Only those tenderers who are registered with the CIDB, or are capable of being so prior to the evaluation of submissions, in a contractor designation equal to or higher than a contractor grading designation determined in accordance with the sum tendered for a 4GB class of construction work, are eligible to submit tenders.</p> <p>Joint ventures are eligible to submit tenders provided that:</p> <ol style="list-style-type: none"><li>1. every member of the joint venture is registered with the CIDB;</li><li>2. the lead partner has a contractor grading designation in the GB class of construction work; and the combined contractor grading designation calculated in accordance with the Construction Industry Development Regulations is equal to or</li></ol>

Clause	Wording
	<p>higher than a contractor grading designation determined in accordance with the sum tendered for a <b>4GB</b> class of construction works.</p>
	<p>a) Availability of resources – The evaluation of the tenderers availability of resources will include their bank rating (cash flow), availability of plant and equipment, availability of appropriately experienced site staff, proposed sub-contractors and other resources that may include risk to the client</p> <p>b) Capacity to subcontract resources. Proposed sub-contractors must be listed.</p> <p>c) Availability of skills based on data submitted – The tenderer's previous experience and proposed site staff will be evaluated as per clause F3.11.9 (quality evaluation). This will determine the tender's availability of skills.</p> <p>d) An Original, Valid Tax Clearance Certificate/PIN. (See form: Schedule 2C page T2.2-43) In Bids where Consortia/Joint Venture/Sub-contractors are involved each party must submit a separate and Original Valid Tax Clearance Certificate.</p> <p>e) Letter of authorization to sign the Form of Offer and where required in tender document. (See Form: Schedule 1B page T2.2-6)</p> <p>f) Satisfactory financial standing and capability: Only those bidders with a bank code of A, B or C are eligible to submit bids. Bidders must provide their banking details. The Employer will obtain codes from the relevant financial institution</p>
F.2.7	<p><b>Clarification meeting</b> A compulsory clarification meeting with representatives of the employer will be held on Tuesday, 24 October 2023. The meeting will be held at <b>Kogelberg Nature Reserve</b>.</p> <p>GPS: 34°19'21.0"S 18°57'58.2"E</p> <p>From Cape Town, take the N2 north. Just before Sir Lowry's Pass, turn right on to Sir Lowry's Pass Road. At the T-junction in Gordon's Bay, turn left on to the R44, following the road along the coast, past Pringle Bay and Betty's Bay. Just before you reach Kleinmond you will see the sign for Kogelberg, taking the dirt road to the left.</p> <p><b>The meeting will commence at 11h00 promptly. No late attendance will be considered.</b></p>
F.2.12	<p>If, a tenderer wishes to submit an alternative offer, the only criteria permitted for such alternative tender offer is that it demonstrably satisfies the Employer's standards and requirements, the details of which may be obtained from the Project Manager.</p> <p>Calculations, drawings and all other pertinent technical information and characteristics as well as modified or proposed Pricing Data must be submitted with the alternative tender offer to enable the Employer to evaluate the efficiency of the alternative and its principal elements, to take a view on the degree to which the alternative complies with the Employer's standards and requirements and to evaluate the acceptability of the pricing proposals. Calculations must be set out in a clear and logical sequence and must clearly reflect all design assumptions. Pricing Data must reflect all assumptions in the development of the pricing proposal.</p> <p>Acceptance of an alternative tender offer will mean acceptance in principle of the offer. It will be an obligation of the contract for the tenderer, in the event that the alternative is accepted, to accept full responsibility and liability that the alternative offer complies in all respects with the Employer's standards and requirements.</p> <p>The modified Pricing Data must include an amount equal to 5% of the amount tendered for the alternative offer to cover the Employer's costs of confirming the acceptability of the detailed design before it is constructed.</p>

Clause	Wording
F.2.13.5	The Employer's address for delivery of tender offers and identification details to be shown on each tender offer package are:
	Physical address: the tender box at 3 <sup>rd</sup> floor <b>PGWC Shared Services Centre, Corner Bosduif and Volstruis Streets, Bridgetown, Athlone</b> before <b>11:00 on Friday, 10 November 2023</b> whereafter the tenders will be opened. Electronic submission of bids is also allowed before 11:00 on Friday, 10 November 2023. Electronic bids can be submitted to <a href="mailto:tenders@capenature.co.za">tenders@capenature.co.za</a> .
	Identification details: CONTRACT NO.: <b>WCNCB 07/10/2023 MAINTENANCE AND ADDITIONAL WORKS TO OUDEBOSCH CABINS AT KOGELBERG NATURE RESERVE.</b>  The Tenderers postal address must be clearly indicated on the back of the sealed envelope.
F.2.13.6	A two-envelope procedure <b><u>will not be followed.</u></b>
F.2.15	The closing time for submission of tender offers is: 11:00 on Friday, 10 November 2023 in the tender box or via electronic submission.
F.2.15	Late, telephonic, telegraphic, telex, facsimile tender offers will not be accepted.
F.2.16	The tender offer validity period is ONE HUNDRED AND EIGHTY (180) days.
F.2.23.1	<b>Tax Clearance Certificate</b> Tenderers shall be registered and in good standing with the South African Revenue Services (SARS) and shall submit documentary evidence in the form of an original valid Tax Clearance Certificate issued by SARS or proof that he or she has made arrangements with SARS to meet his or her outstanding tax obligations.  Each party to a Consortium/Joint Venture shall submit a separate Tax Clearance Certificate, or proof that he or she has made the necessary arrangements with SARS.  Tenderers are to note that the Employer will not award a contract to a Tenderer whose tax matters are not in order. Furthermore, the successful Tenderer (Contractor) is required to submit an updated original Tax Clearance Certificate to the Employer should any current Tax Clearance Certificate expire during the contract. Failure to do so may lead to the withholding of payment to the Contractor until a valid Tax Clearance Certificate is received by the Employer
F.2.23.3	<b>BROAD-BASED BLACK ECONOMIC EMPOWERMENT (B-BBEE) STATUS LEVEL CERTIFICATES</b> Tenderers shall submit documentary evidence/proof in the form of an original valid or certified copy B-BBEE Status Level verification certificate in terms of the Construction Sector Charter on Black Economic Empowerment, or an Exempted Micro Enterprise certificate issued by a registered auditor, accounting officer (as contemplated in section 60(4) of the Close Corporation Act, 1984 (Act No. 69 of 1984)) or an accredited verification agency, or certified copies thereof in terms of the Preferential Procurement Regulations, 2017.  Tenderers who do not submit B-BBEE Status Level Verification Certificates or who are non-compliant contributors to B-BBEE do not qualify for preference points for B-BBEE but should not be disqualified from the bidding process. They will score points out of 90 or 80 for price only and zero (0) points out of 10 or 20 for B-BBEE.  Consortiums/Joint Ventures will qualify for preference points, provided that the entity submits a consolidated B-BBEE Status Level Verification Certificate for every separate bid (in terms of the Preferential Procurement Regulations, 2017). In the case of unincorporated entities, a verified scorecard in the name of the Consortium/Joint Venture must be submitted with the tender.  B-BBEE Status Level Verification Certificates submitted must be issued by the following agencies:

Clause	Wording
	<p><b>Bidders other than EMEs</b></p> <ul style="list-style-type: none"> <li>(i) Verification agencies accredited by SANAS; or</li> <li>(ii) Registered auditors approved by IRBA (until the expiration of the period prescribed by the dti)</li> </ul> <p><b>Bidders who qualify as EMEs</b></p> <ul style="list-style-type: none"> <li>(i) Sworn affidavit signed by the EME representative and attested by a Commissioner of Oaths.</li> </ul>
F.3.4	<p>The time and location for the opening of the tender offers are:</p> <p>Time: 11:00 on Friday, 10 November 2023</p> <p>Location: PGWC Shared Services Centre, Corner Bosduif and Volstruis Streets, Bridgetown, Athlone</p>
F.3.8	<p><b>Test for responsiveness</b></p> <p>Tenders may be considered non-responsive if:</p> <ul style="list-style-type: none"> <li>- the tender is not in compliance with the Scope of Work;</li> <li>- the tenderer does not comply with the CIDB contractor grading designation as specified in F.2.1.2 above;</li> <li>- the tenderer has failed to clarify or submit any supporting documentation within the time for submission stated in the Employer's written request</li> </ul>
F.3.9	<b>Arithmetical errors, omissions and discrepancies</b>
F.3.9.2	<p>Check responsive tender offers for:</p> <ul style="list-style-type: none"> <li>(a) the gross misplacement of the decimal point in any unit rate;</li> <li>(b) omissions made in completing the pricing schedule or bills of quantities; or</li> <li>(c) arithmetic errors in: <ul style="list-style-type: none"> <li>(i) line item totals resulting from the product of a unit rate and a quantity in bills of quantities or schedules of prices or</li> <li>(ii) the summation of the prices</li> </ul> </li> </ul>
F.3.9.3	<p>Correct arithmetic errors in the following manner:</p> <ul style="list-style-type: none"> <li>(a) If bill of quantities (or schedule of quantities) or pricing schedules apply and there is an error in the line item total resulting from the product of the unit rate and the quantity, the unit rate shall govern and the line item total shall be corrected.</li> <li>(b) Where there is an obviously gross misplacement of the decimal point in the unit rate, the line item total as quoted shall govern, and the unit rate shall be corrected.</li> <li>(c) Where there is an error in the total of the prices either as a result of other corrections required by this checking process or in the tenderer's addition of prices, the total of the prices shall be corrected.</li> </ul>
F.3.9.4	<p>Notify the highest ranked tender or tenderer with the highest number of tender evaluation points after the evaluation of tender offers in accordance with F.3.11 of all errors or omissions that are identified in the tender offer and invite the tenderer to confirm the tender offer as tendered and accept the corrected total of prices.</p>
F.3.9.5	<p>Check responsive tender offers for unbalanced unit rates and request tenderers to consider amending and adjusting any rates declared unbalanced by the Employer in accordance with F.4.3 while retaining the total of the prices derived after any correction made in terms of this condition to tender.</p> <p>Reject a tender offer if the tenderer does not correct or accept the correction of arithmetical errors and consider rejection of a tender offer if the tenderer refuses to amend/adjust an unreasonable, unbalanced rate in the manner described above.</p>
F.3.11	<b>Evaluation of tender offers</b>
F.3.11.1	<p><b>General</b></p> <p>The tender evaluation method to evaluate all responsive tender offers will be Method 2. The procedure for the evaluation of responsive tenders is <b>80/20 Point system: Price and Preference</b> in accordance with F.3.11.3,</p> <p>Apply the 80/20 Preference Point system where a maximum of eighty (80) tender adjudication point be awarded for price &amp; twenty (20) points will be awarded for preference in terms of the Preferential Procurement Policy Framework act (PPPFA) (Act 5 of 2000) and Preferential Procurement Regulations, 2017.</p>

Clause	Wording																				
F.3.11.3	<p>The 80/20 preference point system for acquisition of services, works or goods up to Rand value of R50 million</p> <p>(4)(a)(i) The following formula must be used to calculate the points for price in respect of tenders (including price quotation) with a rand value equal to, or above R 30 000 and up to Rand value of R 50 million (all applicable taxes included):</p> $Ps = 80 \left( 1 - \frac{Pt - P_{\min}}{P_{\min}} \right)$ <p><i>Where</i>  <i>Ps = Points scored for comparative price of tender or offer under consideration;</i>  <i>Pt = Comparative price of tender or offer under consideration; and</i>  <i>Pmin = Comparative price of lowest acceptable tender or offer.</i></p> <p>(4)(a)(ii) An employer of state may apply the formula in paragraph (i) for price quotations with a value less than R30 000, if and when appropriate:</p> <p>(4)(b) Subject to subparagraph(4)(c), points must be awarded to a tender for attaining the BBBEE status level of contributor in accordance with the table below:</p> <table border="1"> <thead> <tr> <th>B-BBEE status level of contributor</th><th>Number of points</th></tr> </thead> <tbody> <tr> <td>1</td><td>20</td></tr> <tr> <td>2</td><td>18</td></tr> <tr> <td>3</td><td>14</td></tr> <tr> <td>4</td><td>12</td></tr> <tr> <td>5</td><td>8</td></tr> <tr> <td>6</td><td>6</td></tr> <tr> <td>7</td><td>4</td></tr> <tr> <td>8</td><td>2</td></tr> <tr> <td>Non-compliant contributor</td><td>0</td></tr> </tbody> </table> <p>(4)(c) A maximum of 20 points may be allocated in accordance with subparagraph (4)(b)</p> <p>(4)(d) The points scored by tender in respect of B-BBEE contribution contemplated in subparagraph (4)(b) must be added to the points scored for price as calculated in accordance with subparagraph (4)(a).</p> <p>(4)(e) Subject to paragraph 4.3.8 the contract must be awarded to the tender who scores the highest total number of points.</p>	B-BBEE status level of contributor	Number of points	1	20	2	18	3	14	4	12	5	8	6	6	7	4	8	2	Non-compliant contributor	0
B-BBEE status level of contributor	Number of points																				
1	20																				
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6	6																				
7	4																				
8	2																				
Non-compliant contributor	0																				
F.3.11.7	<p><b>Scoring Financial Offers</b></p> <p>The financial offer will be scored using <b>Formula 2 (Option 1)</b> where the value of W<sub>1</sub> is:</p> <p>1) 80 points where the financial value inclusive of VAT of all responsive tenders received have a value equal to or above R30 000 and up to R50 million.</p> <p><b>For this contract</b>, the financial offers will be scored using the <b>80/20-point system</b> where the value of W<sub>1</sub> is <b>80</b> tender evaluation points. Up to a maximum of 100 minus W<sub>1</sub> namely <b>20</b> tender evaluation points will be awarded for Preference with responsive tenders scoring points in accordance with the <b>80 Financial /20 Preference</b> scoring criteria listed below.</p>																				

Clause	Wording																		
	<table><tr><th colspan="2">80 Financial /20 Preference</th></tr><tr><th>Points</th><th>Description</th></tr><tr><td></td><td><b>FINANCIAL OFFER</b></td></tr><tr><td>80</td><td>Price</td></tr><tr><td></td><td><b>PREFERENCES</b></td></tr><tr><td>20</td><td>B-BBEE Status Level Contribution</td></tr></table> <p><math>N_{FO} = W1 \times A</math></p> <p>where: <math>N_{FO}</math> = The number of tender evaluation points awarded for the financial offer (80)</p> <p><math>W1</math> = Maximum possible number of tender evaluation points awarded for the financial offer as stated in the Tender Data. (80)</p> <p><math>A</math> = Number calculated using the formula and option described in Table F.1 as stated in the Tender Data.</p> <table><tr><th>Formula</th><th>Comparison aimed at achieving</th><th>Option 1<sup>a</sup></th></tr><tr><td>2</td><td>Lowest price or percentage commission / fee</td><td><math>A = (1 - \frac{P - P_m}{P_m})</math></td></tr></table>	80 Financial /20 Preference		Points	Description		<b>FINANCIAL OFFER</b>	80	Price		<b>PREFERENCES</b>	20	B-BBEE Status Level Contribution	Formula	Comparison aimed at achieving	Option 1 <sup>a</sup>	2	Lowest price or percentage commission / fee	$A = (1 - \frac{P - P_m}{P_m})$
80 Financial /20 Preference																			
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2	Lowest price or percentage commission / fee	$A = (1 - \frac{P - P_m}{P_m})$																	
F.3.11.10	<p><b>Risk Analysis</b></p> <p>Notwithstanding compliance with regard to CIDB registration or any other requirements of the tender, the employer will perform a risk analysis in respect of the following:</p> <ul style="list-style-type: none"><li>a) reasonableness of the financial offer</li><li>b) reasonableness of unit rates and prices</li><li>c) the tenderers ability to fulfil its obligations in terms of the tender document, that is, that the tenderer can demonstrate that he/she possesses the necessary professional and technical qualifications, professional and technical competence, financial resources, equipment and other physical facilities, managerial capability, reliability, experience, reputation, personnel to perform the contract, etc.</li></ul> <p>No tenderer will be recommended for an award unless the tenderer has demonstrated that he/she has the resources and skills required.</p>																		
F.3.13.1	<p>Tender offers will only be accepted on condition that:</p> <ul style="list-style-type: none"><li>a) the tenderer is registered with the Construction Industry Development Board in an appropriate contractor grading designation;</li><li>b) the tenderer or any of its directors is not listed in the Register of Tender Defaulters in terms of the Prevention and Combating of Corrupt Activities Act of 2004 as a person prohibited from doing business with the public sector; and</li><li>c) the tenderer has not:<ul style="list-style-type: none"><li>i) abused the Employer’s Supply Chain Management System; or</li><li>ii) has failed to perform on any previous contract.</li></ul></li><li>d) has completed CSD and WCSEB Registration</li></ul>																		
F.3.13.2	<p><b>Notification of decision and appeal period</b></p> <p>If the WESTERN CAPE NATURE CONSERVATION BOARD has resolved that a tender be accepted, the unsuccessful tenderers shall not be notified directly of this decision. Awards will be placed on all advertising mediums including the tender portal, CapeNature website and CIDB website.</p> <p>Persons whose rights have been affected by such a decision, the right to appeal such decision within 21 days of notification of the decision.</p> <p>Any tender wishing the exercise this right, must submit their appeal in writing to the <a href="mailto:tenders@capenature.co.za">tenders@capenature.co.za</a>. The format of the appeal must:</p> <ul style="list-style-type: none"><li>• set out the reasons for the appeal;</li><li>• state in which way the appellant’s rights have been affected by the decision;</li></ul>																		

Clause	Wording
	<ul style="list-style-type: none"> <li>state the remedy sought;</li> <li>be accompanied by a copy of the notification advising the tenderer of the decision of the WESTERN CAPE NATURE CONSERVATION BOARD as applicable.</li> </ul> <p>Tenderers are also hereby informed of their right to request reasons for the decision in terms of the Promotion of Administrative Justice Act (No 3 of 2000).</p> <p>The notification of decision sent to the successful tenderer is not nor shall acceptance in terms of the form of offer and acceptance and no right accrue to the successful tenderer in terms of this notification.</p> <p>The consideration of appeals and if necessary, the invalidation of any decision made, shall be dealt with in terms of the WESTERN CAPE NATURE CONSERVATION BOARD's appeal process.</p>
F.3.18	<p>The number of paper copies of the signed contract to be provided by the Employer is ONE (1)</p> <p>The additional conditions of tender are:</p> <p><b>1. Invalid tenders</b></p> <p>Tenders shall be considered invalid and shall be endorsed and recorded as such in the tender opening record, by the responsible official who opened the tender, in the following circumstances:</p> <ol style="list-style-type: none"> <li>if the offer is not submitted on the Form of Offer and Acceptance bound into this tender document (<b>form C1.1, Part C1: Agreement and Contract Data</b>);</li> <li>if the tender is not completed in non-erasable ink;</li> <li>if the offer has not been signed;</li> <li>if the offer is signed, but the name of the tenderer is not stated or is indecipherable;</li> <li>if correction fluid has been used.</li> </ol> <p><b>2. Negotiations with preferred tenderers</b></p> <p>The Employer may negotiate the final terms of a contract with the tenderers identified through a competitive tendering process as preferred tenderers provided that such negotiation:</p> <ol style="list-style-type: none"> <li>does not allow any preferred tender a second or unfair opportunity;</li> <li>is not to the detriment of any other tender as submitted;</li> <li>does not lead to a higher price than the tender as submitted.</li> </ol> <p>Minutes of any such negotiations shall be kept for record purposes.</p> <p><b>3. General supply chain management conditions applicable to tenders</b></p> <p>The WESTERN CAPE NATURE CONSERVATION BOARD may not consider a tender unless the provider who submitted the tender:</p> <ol style="list-style-type: none"> <li>has furnished CapeNature with that provider's: <ul style="list-style-type: none"> <li>full name;</li> <li>identification number or company or other registration number; and</li> <li>tax reference number and VAT registration number, if any;</li> </ul> </li> <li>has indicated whether: <ul style="list-style-type: none"> <li>the provider is in the service of the state, or has been in the service of the state in the previous twelve months;</li> <li>the provider is not a natural person, whether any of the directors, managers and principal shareholders or stakeholders is in the service of the state, or has been in the service of the state for the past twelve months;</li> <li>a spouse, child or parent of a provider or of a director, manager, shareholder or stakeholder referred to above is in the service of the state, or has been in the service of the state for the past twelve months; or</li> </ul> </li> <li>irrespective of the procurement process followed, the WESTERN CAPE NATURE CONSERVATION BOARD is prohibited from making an award to a person: <ul style="list-style-type: none"> <li>who is in the service of the state;</li> <li>if the person is not a natural person, or a juristic entity of which any director, manager principal shareholder or stakeholder is in the service of the state; or</li> <li>who is an advisor or consultant contracted by the Department.</li> </ul> </li> </ol>

Clause	Wording
	<p>In this regard, tenderers shall complete <b>Schedule 1C</b>, Part T2.2: Returnable Schedules: Compulsory Enterprise Questionnaire. Failure to complete this schedule may result in the tender not being considered.</p> <p><b>4. Compliance with Occupational Health and Safety Act 1993</b></p> <p>Tenderers are to note the requirements of the Occupational Health and Safety Act (No. 85 of 1993) and the Construction Regulations 2014 issued in terms of Section 43 of the Act. The tenderer shall be deemed to have read and fully understood the requirements of the above Act and Regulations and to have allowed for all costs in compliance therewith. Tenderers are to note that the service provider is required to ensure that all sub-consultants/sub-contractors or others engaged in the performance of this contract also comply with above requirements.</p> <p>The service provider will be required to complete and submit to the Employer the Occupational Health and Safety Agreement within 14 days of acceptance of tender.</p>

**WESTERN CAPE NATURE CONSERVATION BOARD**  
**MAINTENANCE AND ADDITIONAL WORKS TO OUDEBOSCH CABINS AT**  
**KOGELBERG NATURE RESERVE**

**CONTRACT NO: WCNCB 07/10/2023**

<b>PART T2 : RETURNABLE DOCUMENTS</b>
---------------------------------------

**T2.1 List of Returnable Documents**

**T2.2 Returnable Schedules**

**WESTERN CAPE NATURE CONSERVATION BOARD**  
**MAINTENANCE AND ADDITIONAL WORKS TO OUDEBOSCH CABINS AT**  
**KOGELBERG NATURE RESERVE**

**CONTRACT NO: WCNCB 07/10/2023**

<b>T2.1 : LIST OF RETURNABLE DOCUMENTS</b>
--

The following documents are to be completed and returned as they constitute the tender. Whilst many of the returnables may be utilized for the purpose of evaluating the tenders, some will form part of the subsequent contract, as they form the basis of the tender offer. For this reason, it is very important that tenderers return **all information requested**.

**1. RETURNABLE SCHEDULES REQUIRED FOR TENDER EVALUATION PURPOSES**  
**(included hereafter for completion)**

Schedule : 1A	Invitation to Bid
Schedule : 1B	Authority for Signatory
Schedule : 1C	Compulsory Enterprise Questionnaire
Schedule : 1D	Personnel Schedule
Schedule : 1E	Schedule of Plant and Equipment available for the contract
Schedule : 1F	Schedule of Work satisfactorily carried out by the Tenderer
Schedule : 1G	Estimated Monthly Cash-flow
Schedule : 1H	Schedule of Proposed Subcontractors
Schedule : 1I	Proposed Amendments and Qualifications
Schedule : 1J	Declaration concerning fulfillment of the Construction Regulations, 2003
Schedule : 1K	Preference Points
Schedule : 1L	Certificate of Independent Bid Determination
Schedule : 1M	Rendering Of Services

**2. OTHER DOCUMENTS REQUIRED FOR TENDER EVALUATION PURPOSES (to be attached with submission)**

Schedule : 2A	Documents of Incorporation
Schedule : 2B	Tax Clearance Certificate
Schedule : 2C	Broad-Based Black Economic Empowerment (B-BBEE) Status Level Certificates
Schedule : 2D	Proof of Registration with the Construction Industry Development Board (CIDB)
Schedule : 2E	Joint Venture Agreement, if applicable

**3.                    RETURNABLE SCHEDULES THAT WILL BE INCORPORATED INTO THE CONTRACT  
(to be attached with submission)**

Schedule : 3A    Record of Addenda to Tender Documents  
Schedule : 3B    Curriculum Vitae of Key Personnel  
Schedule : 3C    First Programme and Method Statement

**4.                    OTHER SCHEDULES AND AFFIDAVITS THAT WILL BE INCORPORATED INTO THE  
CONTRACT (included hereafter for completion)**

C1.1 :            Form of Offer and Acceptance  
C1.2 :            Contract Data (Part 1)  
C1.2 :            Contract Data (Part 2)  
C1.3 :            Form of Guarantee (Pro Forma) – ANNEXURE A  
C1.4:            OHS Agreement  
C1.5:            Environmental Management Plan – ANNEXURE B  
C2.2 :            Bills of Quantities

**WESTERN CAPE NATURE CONSERVATION BOARD**

**MAINTENANCE AND ADDITIONAL WORKS TO OUDEBOSCH CABINS AT  
KOGELBERG NATURE RESERVE**

**CONTRACT NO: WCNCB 07/10/2023**

**SCHEDULE 1A: INVITATION TO BID**

BID NUMBER:	WCNCB 07/10/2023	CLOSING DATE:	10/11/2023	CLOSING TIME:	11H00 AM
DESCRIPTION	CapeNature seeks a skilled service provider with a CIDB grading of 4GB or greater, for Maintenance and Additional works to Oudebosch Cabins at Kogelberg Nature Reserve.				
THE SUCCESSFUL BIDDER WILL BE REQUIRED TO FILL IN AND SIGN A WRITTEN CONTRACT FORM (WBD7).					

BID RESPONSE DOCUMENTS MAY BE DEPOSITED IN THE BID  
BOX SITUATED AT

<b>CapeNature Head Office</b> <b>PGWC Shared Services Centre</b> <b>3<sup>rd</sup> Floor</b> <b>Cnr Bosduif &amp; Volstruis Streets</b> <b>Bridgetown</b> <b>7764</b>	<b>Please note that a compulsory briefing session will be conducted at Kogelberg Nature Reserve, on Tuesday 24 October 2023 at 11:00 AM.</b>  <b>From Cape Town, take the N2 north. Just before Sir Lowry's Pass, turn right on to Sir Lowry's Pass Road. At the T-junction in Gordon's Bay, turn left on to the R44, following the road along the coast, past Pringle Bay and Betty's Bay. Just before you reach Kleinmond you will see the sign for Kogelberg, taking the dirt road to the left.</b>  <b>GPS coordinates: 34°19'21.0"S 18°57'58.2"E</b>
<b>Tenders Email Address:</b> <a href="mailto:tenders@capenature.co.za">tenders@capenature.co.za</a>	

SUPPLIER INFORMATION					
NAME OF BIDDER					
POSTAL ADDRESS					
STREET ADDRESS					
TELEPHONE NUMBER	CODE		NUMBER		
CELLPHONE NUMBER					
FACSIMILE NUMBER	CODE		NUMBER		
E-MAIL ADDRESS					
VAT REGISTRATION NUMBER					
	WCSD REGISTRATION No.		<b>AND</b>	CSD No:	
B-BBEE STATUS LEVEL VERIFICATION CERTIFICATE  [TICK APPLICABLE BOX]	<input type="checkbox"/> Yes   <input type="checkbox"/> No		B-BBEE STATUS LEVEL SWORN AFFIDAVIT		<input type="checkbox"/> Yes   <input type="checkbox"/> No
IF YES, WHO WAS THE CERTIFICATE ISSUED BY?	<input type="checkbox"/>	A VERIFICATION AGENCY ACCREDITED BY THE SOUTH AFRICAN ACCREDITATION SYSTEM (SANAS)			
	<input type="checkbox"/>	A REGISTERED AUDITOR			

**[A B-BBEE STATUS LEVEL VERIFICATION CERTIFICATE/SWORN AFFIDAVIT (FOR EMEs& QSEs) MUST BE SUBMITTED TOGETHER WITH A COMPLETED 6.1 IN ORDER TO QUALIFY FOR PREFERENCE POINTS FOR B-BBEE]**

1.1.8.1	ARE YOU THE ACCREDITED REPRESENTATIVE IN SOUTH AFRICA FOR THE GOODS /SERVICES /WORKS OFFERED?	<input type="checkbox"/> Yes <input type="checkbox"/> No  [IF YES ENCLOSE PROOF]	1.1.8.2	ARE YOU A FOREIGN BASED SUPPLIER FOR THE GOODS /SERVICES /WORKS OFFERED?	<input type="checkbox"/> Yes <input type="checkbox"/> No  [IF YES ANSWER PART B:3 BELOW]
1.1.8.3	SIGNATURE OF BIDDER	.....	1.1.8.4	DATE	
1.1.8.5	CAPACITY UNDER WHICH THIS BID IS SIGNED (Attach proof of authority to sign this bid; e.g. resolution of directors, etc.)				
1.1.8.6	TOTAL NUMBER OF ITEMS OFFERED		1.1.8.7	TOTAL BID PRICE (ALL INCLUSIVE)	
<b>BIDDING PROCEDURE ENQUIRIES MAY BE DIRECTED TO:</b>			<b>TECHNICAL INFORMATION MAY BE DIRECTED TO:</b>		
DEPARTMENT/ PUBLIC ENTITY	CapeNature	CONTACT PERSON	Ramese Mathews		
CONTACT PERSON	Imran Brey	TELEPHONE NUMBER	087 087 3175		
TELEPHONE NUMBER	087 087 4103	FACSIMILE NUMBER	N/A		
FACSIMILE NUMBER	N/A	E-MAIL ADDRESS	<a href="mailto:rmathews@capenature.co.za">rmathews@capenature.co.za</a>		
E-MAIL ADDRESS	<a href="mailto:ibrey@capenature.co.za">ibrey@capenature.co.za</a>				

## PART B

### TERMS AND CONDITIONS FOR BIDDING

<b>1. BID SUBMISSION:</b>
1.1. BIDS MUST BE DELIVERED BY THE STIPULATED TIME TO THE CORRECT ADDRESS. LATE BIDS WILL NOT BE ACCEPTED FOR CONSIDERATION.
1.2. ALL BIDS MUST BE SUBMITTED ON THE OFFICIAL FORMS PROVIDED–(NOT TO BE RE-TYPED)
1.3. BIDDERS MUST REGISTER ON THE CENTRAL SUPPLIER DATABASE (CSD) TO UPLOAD MANDATORY INFORMATION NAMELY: (BUSINESS REGISTRATION/ DIRECTORSHIP/ MEMBERSHIP/IDENTITY NUMBERS; TAX COMPLIANCE STATUS; AND BANKING INFORMATION FOR VERIFICATION PURPOSES). B-BBEE CERTIFICATE OR SWORN AFFIDAVIT FOR B-BBEE MUST BE SUBMITTED TO BIDDING INSTITUTION.
1.4. THIS BID IS SUBJECT TO THE PREFERENTIAL PROCUREMENT POLICY FRAMEWORK ACT 2000 AND THE PREFERENTIAL PROCUREMENT REGULATIONS, 2017, THE GENERAL CONDITIONS OF CONTRACT (GCC) AND, IF APPLICABLE, ANY OTHER LEGISLATION OR SPECIAL CONDITIONS OF CONTRACT.
<b>2. TAX COMPLIANCE REQUIREMENTS</b>
2.1 BIDDERS MUST ENSURE COMPLIANCE WITH THEIR TAX OBLIGATIONS.
2.2 APPLICATION FOR TAX COMPLIANCE STATUS (TCS) MAY ALSO BE MADE VIA E-FILING. IN ORDER TO USE THIS PROVISION, TAXPAYERS WILL NEED TO REGISTER WITH SARS AS E-FILE USER THROUGH THE WEBSITE WWW.SARS.GOV.ZA.
2.3 BIDDERS MAY ALSO SUBMIT A PRINTED TCS WITH A RESULT SUMMARY PAGE (DOWNLOADED FROM EFILING) TOGETHER WITH THE BID.
2.4 IN BIDS WHERE CONSORTIA / JOINT VENTURES / SUB-CONTRACTORS ARE INVOLVED, EACH PARTY MUST SUBMIT A SEPARATE PROOF OF TCS AS MENTIONED IN 2.3 ABOVE.
<b>3. QUESTIONNAIRE TO BIDDING FOREIGN SUPPLIERS</b>
3.1. IS THE BIDDER A RESIDENT OF THE REPUBLIC OF SOUTH AFRICA (RSA)? <input type="checkbox"/> YES <input type="checkbox"/> NO
3.2. DOES THE BIDDER HAVE A BRANCH IN THE RSA? <input type="checkbox"/> YES <input type="checkbox"/> NO
3.3. DOES THE BIDDER HAVE A PERMANENT ESTABLISHMENT IN THE RSA? <input type="checkbox"/> YES <input type="checkbox"/> NO
3.4. DOES THE BIDDER HAVE ANY SOURCE OF INCOME IN THE RSA? <input type="checkbox"/> YES <input type="checkbox"/> NO
IF THE ANSWER IS “NO” TO ALL OF THE ABOVE, THEN, IT IS NOT A REQUIREMENT TO PROVIDE PROOF OF TAX COMPLIANCE STATUS; NOR OBTAIN A TAX COMPLIANCE STATUS FROM THE SOUTH AFRICAN REVENUE SERVICE (SARS) IF NOT REGISTER AS PER 2.2 ABOVE.

**\*FAILURE TO PROVIDE ANY OF THE ABOVE PARTICULARS MAY RENDER THE BID INVALID.**

SIGNATURE OF BIDDER:

.....

CAPACITY UNDER WHICH THIS BID IS SIGNED:

.....

(Proof of authority must submitted e.g. company resolution)

DATE:

.....

**PROVINCIAL GOVERNMENT OF WESTERN CAPE**  
**DECLARATION OF INTERESTS, BIDDERS PAST SCM PRACTICES AND INDEPENDENT BID DETERMINATION**

1. To give effect to the requirements of the Western Cape Provincial Treasury Instructions, 2019: Supply Chain Management (Goods and Services), Public Finance Management Act (PFMA) Supply Chain Management (SCM) Instruction No. 3 of 2021/2022 - SBD 4 Declaration of Interest, Section 4 (1)(b)(iii) of the Competition Act No. 89 of 1998 as amended together with its associated regulations, the Prevention and Combating of Corrupt Activities Act No 12 of 2004 and regulations pertaining to the tender defaulters register, Paragraph 16A9 of the National Treasury Regulations and/or any other applicable legislation.
2. Any person (natural or juristic) may make an offer or offers in terms of this invitation to bid. In line with the principles of transparency, accountability, impartiality, and ethics as enshrined in the Constitution of the Republic of South Africa and further expressed in various pieces of legislation, it is required for the bidder to make this declaration in respect of the details required hereunder.
3. All prospective bidders intending to do business with the Institution must be registered on the Central Supplier Database (CSD) and the Western Cape Supplier Evidence Bank (WCSEB) if they wish to do business with the Western Cape Government (WCG) via the electronic Procurement Solution (ePS).
4. The status of enterprises and persons listed on the National Treasury's Register for Tender Defaulters will be housed on the ePS. Institutions may not under any circumstances procure from enterprises and persons listed on the Database of Tender Defaulters.
5. The status of suppliers listed on the National Treasury's Database of Restricted Suppliers will be housed on the ePS; however, it remains incumbent on institutions to check the National Treasury Database of Restricted Suppliers before the conclusion of any procurement process. For suppliers listed as restricted, institutions must apply due diligence and risk assessment before deciding to proceed with procurement from any such supplier.
6. **Definitions**

**"bid"** means a bidder's response to an institution's invitation to participate in a procurement process which may include a bid, price quotation or proposal;

**"Bid rigging (or collusive bidding)"** occurs when businesses, that would otherwise be expected to compete, secretly conspire to raise prices or lower the quality of goods and / or services for purchasers who wish to acquire goods and/or services through a bidding process. Bid rigging is, therefore, an agreement between competitors;

**"business interest"** means -

- (a) a right or entitlement to share in profits, revenue or assets of an entity;
- (b) a real or personal right in property;
- (c) a right to remuneration or any other private gain or benefit, or
- (d) includes any interest contemplated in paragraphs (a), (b) or (c) acquired through an intermediary and any potential interest in terms of any of those paragraphs;

**"Consortium or Joint Venture"** means an association of persons for the purpose of combining their expertise, property, capital, efforts, skill and knowledge in an activity for the execution of a contract;

**"Controlling interest"** means, the power, by one person or a group of persons holding the majority of the equity of an enterprise, alternatively, the person/s having the deciding vote or power to influence or to direct the course and decisions of the enterprise;

**“Corruption”**- General offences of corruption are defined in the Combating of Corrupt Activities Act, 2004 (Act No 12 of 2004) as:

Any person who directly or indirectly-

- (a) accepts or agrees or offers to accept an! gratification from any other person, whether for the benefit of himself or herself or for the benefit of another person; or
- (b) gives or agrees or offers to give to any other person any gratification, whether for the benefit of that other person or for the benefit of another person., in order to act personally or by influencing another person so to act, in a manner—
  - (i) that amounts to the-
    - (aa) illegal. dishonest. unauthorised. incomplete. or biased: or
    - (bb) misuse or selling of information or material acquired in the course of the exercise, carrying out or performance of any powers, duties or functions arising out of a constitutional, statutory, contractual or any other legal obligation:
  - (ii) that amounts to-
    - (aa) the abuse of a position of authority;
    - (bb) a breach of trust; or
    - (cc) the violation of a legal duty or a set of rules;
  - (iii) designed to achieve an unjustified result; or
  - (iv) that amounts to any other unauthorised or improper inducement to do or 45 not to do anything. of the, is guilty of the offence of corruption

**“CSD”** means the Central Supplier Database maintained by National Treasury;

**“employee”**, in relation to –

- (a) a department, means a person contemplated in section 8 of the Public Service Act, 1994 but excludes a person appointed in terms of section 12A of that Act; and
- (b) a public entity, means a person employed by the public entity;

**“entity”** means any -

- (a) association of persons, whether or not incorporated or registered in terms of any law, including a company, corporation, trust, partnership, close corporation, joint venture or consortium; or
- (b) sole proprietorship;

**“entity conducting business with the Institution”** means an entity that contracts or applies or tenders for the sale, lease or supply of goods or services to the Province;

**“Family member”** means a person's -

- (a) spouse; or
- (b) child, parent, brother, sister, whether such a relationship results from birth, marriage or adoption or some other legal arrangement (as the case may be);

**“intermediary”** means a person through whom an interest is acquired, and includes a representative or agent or any other person who has been granted authority to act on behalf of another person;

**“Institution”** means –

a provincial department or provincial public entity listed in Schedule 3C of the Act; **“Provincial**

**Government Western Cape (PGWC)”** means

- (a) the Institution of the Western Cape, and
- (b) a provincial public entity;

**“RWOEE”** means - Remunerative Work Outside of the Employee's Employment

**“spouse”** means a person's -

- (a) partner in marriage or civil union according to legislation;
- (b) partner in a customary union according to indigenous law; or
- (c) partner with whom he or she cohabits and who is publicly acknowledged by the person as his or her life partner or permanent companion.

7. Regulation 13(c) of the Public Service Regulations (PSR) 2016, effective 1 February 2017, prohibits any employee from conducting business with an organ of state, or holding a directorship in a public or private company doing business with an organ of state unless the employee is a director (in an official capacity) of a company listed in schedules 2 and 3 of the Public Finance Management Act.

- a) Therefore, by 31 January 2017 all employees who are conducting business with an organ of state should either have:

- (i) resigned as an employee of the government institution or;
  - (ii) cease conducting business with an organ of state or;
  - (iii) resign as a director/shareholder/owner/member of an entity that conducts business with an organ of state.
8. Any legal person, or their family members, may make an offer or offers in terms of this invitation to bid. In view of potential conflict of interest, in the event that the resulting bid, or part thereof, be awarded to family members of persons employed by an organ of state, it is required that the bidder or his/her authorised representative declare his/her position in relation to the evaluating/adjudicating authority where the bidder is employed by the Institution
  9. The bid of any bidder may be disregarded if that bidder or any of its directors abused the institution's supply chain management system; committed fraud or any other improper conduct in relation to such system; or failed to perform on any previous contract.
  10. Section 4 (1) (b) (iii) of the Competition Act No. 89 of 1998, as amended, prohibits an agreement between, or concerted practice by firms, or a decision by an association of firms, if it is between parties in a horizontal relationship and if it involves collusive bidding (or bid rigging). Collusive bidding is a per se prohibition meaning that it cannot be justified under any grounds.
  11. Treasury Regulation 16A9 prescribes that accounting officers and accounting authorities must take all reasonable steps to prevent abuse of the supply chain management system and authorises accounting officers and accounting authorities to:
    - (a) disregard the bid of any bidder if that bidder, or any of its directors have abused the institution's supply chain management system and or committed fraud or any other improper conduct in relation to such system.
    - (b) cancel a contract awarded to a supplier of goods and services if the supplier committed any corrupt or fraudulent act during the bidding process or the execution of that contract.
  12. Communication between partners in a joint venture or consortium will not be construed as collusive bidding.
  13. In addition and without prejudice to any other remedy provided to combat any restrictive practices related to bids and contracts, bids that are suspicious will be reported to the Competition Commission for investigation and possible imposition of administrative penalties in terms of section 59 of the Competition Act No 89 of 1998 and or may be reported to the National Prosecuting Authority (NPA) for criminal investigation and or may be restricted from conducting business with the public sector for a period not exceeding ten (10) years in terms of the Prevention and Combating of Corrupt Activities Act No 12 of 2004 or any other applicable legislation.

## SECTION A: DETAILS OF THE ENTITY

CSD Registration Number	MAAA
Name of the Entity	
Entity registration Number (where applicable)	
Entity Type	
Tax Reference Number	
Full details of directors, shareholder, member, partner, trustee, sole proprietor or any persons with a right or entitlement to share in profits, revenue or assets of the entity should be disclosed in the Table A below.	

TABLE A

[illegible]

**SECTION B: DECLARATION OF THE BIDDER'S INTEREST**

The supply chain management system of an institution must, irrespective of the procurement process followed, prohibit any award to an employee of the state, who either individually or as a director of a public or private company or a member of a close corporation, seek to conduct business with the WCG, unless such employee is in an official capacity a director of a company listed in Schedule 2 or 3 of the PFMA as prescribed by the Public Service Regulation 13 (c).

Furthermore, an employee employed by an organ of state conducting remunerative work outside of the employee's employment should first obtain the necessary approval by the delegated authority (RWOEE), failure to submit proof of such authority, where applicable, may result in disciplinary action.

Furthermore, an employee employed by an organ of state conducting remunerative work outside of the employee's employment should first obtain the necessary approval by the delegated authority (RWOEE), failure to submit proof of such authority, where applicable, may result in disciplinary action.

<b>B1.</b>	Are any persons listed in Table A identified on the CSD as employees of an organ of state? <b>(If yes, refer to Public Service Circular EIM 1/2016 to exercise the listed actions)</b>	NO	YES
<b>B2.</b>	Are any employees of the entity also employees of an organ of state? <b>(If yes complete Table B and attach their approved “RWOEE”)</b>	NO	YES
<b>B3.</b>	Are any family members of the persons listed in Table A employees of an organ of state? <b>(If yes complete Table B)</b>	NO	YES

### TABLE B

Details of persons (family members) connected to or employees of an organ of state should be disclosed in Table B below.

[illegible]

**SECTION C: PERFORMANCE MANAGEMENT AND BIDDER'S PAST SUPPLY CHAIN MANAGEMENT PRACTICES**

To enable the prospective bidder to provide evidence of past and current performance.

<b>C1.</b>	Did the entity conduct business with an organ of state in the last twelve months? (If yes complete Table C)	NO	YES
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**3.1 C2. TABLE C**

Complete the below table to the maximum of the last 5 contracts.

NAME OF CONTRACTOR	PROVINCIAL DEPARTMENT OR PROVINCIAL ENTITY	TYPE OF SERVICES OR COMMODITY	CONTRACT/ ORDER NUMBER	PERIOD OF CONTRACT	VALUE OF CONTRACT
<b>C3.</b> Is the entity or its principals listed on the National Database as companies or persons prohibited from doing business with the public sector?					NO YES
<b>C4.</b> Is the entity or its principals listed on the National Treasury Register for Tender Defaulters in terms of section 29 of the Prevention and Combating of Corrupt Activities Act (No. 12 of 2004)?  (To access this Register enter the National Treasury's website, <a href="http://www.treasury.gov.za">www.treasury.gov.za</a> , click on the icon "Register for Tender Defaulters" or submit your written request for a hard copy of the Register to facsimile number (012) 326 5445.)					NO YES
<b>C5.</b> If yes to C3 or C4, were you informed in writing about the listing on the database of restricted suppliers or Register for Tender Defaulters by National Treasury?				NO	YES N/A
<b>C6.</b> Was the entity or persons listed in Table A convicted for fraud or corruption during the past five years in a court of law (including a court outside the Republic of South Africa)?					NO YES
<b>C7.</b> Was any contract between the bidder and any organ of state terminated during the past five years on account of failure to perform on or comply with the contract?					NO YES

#### SECTION D: DULY AUTHORISED REPRESENTATIVE TO DEPOSE TO AFFIDAVIT

This form must be signed by a duly authorised representative of the entity in the presence of a commissioner of oaths.

I, ..... hereby  
swear/affirm;

- i. that the information disclosed above is true and accurate;
- ii. that I have read understand the content of the document;
- iii. that I have arrived at the accompanying bid independently from, and without consultation, communication, agreement or arrangement with any competitor.
- iv. that the entity undertakes to independently arrive at any offer at any time to the Institution without any consultation, communication, agreement or arrangement with any competitor. In addition, that there will be no consultations, communications, agreements or arrangements with any competitor regarding the quality, quantity, specification, prices, including methods, factors or formulas used to calculate prices, market allocation, the intention or decision to submit or not to submit the bid, bidding with the intention not to win the bid and conditions or delivery particulars of the products or services to which this bid invitation relates;
- v. that the entity or its representative are aware of and undertakes not to disclose the terms of any bid, formal or informal, directly or indirectly, to any competitor, prior to the date and time of the official bid opening or of the awarding of the contract; and
- vi. that there have been no consultations, communications, agreements or arrangements made with any official of the procuring institution in relation to this procurement process prior to and during the bidding process except to provide clarification on the bid submitted where so required by the institution; and that my entity was not involved in the drafting of the specifications or terms of reference for this bid.

.....

**DULY AUTHORISED REPRESENTATIVE'S**

**SIGNATURE**

I certify that before administering the oath/affirmation I asked the deponent the following questions and wrote down his/her answers in his/her presence:

- 1.1 Do you know and understand the contents of the declaration? ANSWER: .....
- 1.2 Do you have any objection to taking the prescribed oath? ANSWER: .....
- 1.3 Do you consider the prescribed oath to be binding on your conscience? ANSWER:.....
- 1.4 Do you want to make an affirmation? ANSWER: .....

2. I certify that the deponent has acknowledged that he/she knows and understands the contents of this declaration, which was sworn to/affirmed and the deponent's signature/thumbprint/mark was place thereon in my presence.

.....

**SIGNATURE FULL NAMES:** Commissioner of Oaths

**Designation** (rank): .....ex officio: Republic of South Africa

**Date:** ..... **Place:** .....

**Business Address:** .....

.....

**WESTERN CAPE NATURE CONSERVATION BOARD**  
**MAINTENANCE AND ADDITIONAL WORKS TO OUDEBOSCH CABINS AT**  
**KOGELBERG NATURE RESERVE**

**CONTRACT NO: WCNCB 07/10/2023**

**SCHEDULE 1B: AUTHORITY FOR SIGNATORY**

Indicate the status of the tenderer by ticking the appropriate box hereunder. The tenderer must complete the certificate set out below for the relevant category.

A Company	B Partnership	C Joint Venture	D Sole Proprietor	E Close Corporation

**A. Certificate for Company**

I, ....., chairperson of the board of directors of .....  
....., hereby confirm that by resolution of the board  
(copy attached) taken on ..... 20..., Mr/Ms .....  
acting in the capacity of ....., was authorized to sign all documents in  
connection with this tender for contract ..... and any contract resulting from it on behalf of  
the company.

**As witnesses :**

- |         |            |       |
|---------|------------|-------|
| 1. .... | Chairman : | ..... |
| 2. .... | Date :     | ..... |

**B. Certificate for Partnership**

We, the undersigned, being the key partners in the business trading as .....  
..... hereby authorize Mr/Ms ....., .....  
acting in the capacity of ..... to sign all documents in connection  
with the tender for Contract ..... and any contract resulting from it on  
our behalf.

NAME	ADDRESS	SIGNATURE	DATE

**NOTE :** This certificate is to be completed and signed by all of the key partners upon whom rests  
the direction of the affairs of the Partnership as a whole

**C. Certificate for Joint Venture**

We, the undersigned, are submitting this tender offer in Joint Venture and hereby authorize Mr/Ms ..... , authorised signatory of the company ..... , acting in the capacity of lead partner, to sign all documents in connection with the tender offer for Contract ..... and any contract resulting from it on our behalf.

This authorization is evidenced by the attached power of attorney signed by legally authorized signatories of all the partners to the Joint Venture.

NAME OF FIRM	ADDRESS	AUTHORISING SIGNATURE, NAME & CAPACITY
Lead partner		

**D. Certificate for Sole Proprietor**

I, ..... hereby confirm that I am the sole owner of the business trading as .....

**As witnesses:**

1. .... Signature : Sole owner : .....  
2. .... Date : .....

**E. Certificate for Close Corporation**

We, the undersigned, being the key members in the business trading as ..... hereby authorize Mr/Ms ..... acting in the capacity of ..... , to sign all documents in connection with the tender for Contract ..... and any contract resulting from it on our behalf.

NAME	ADDRESS	SIGNATURE	DATE

**NOTE:** This certificate is to be completed and signed by all of the key-partners upon who rests the direction of the affairs of the Partnership as a whole.

## WESTERN CAPE NATURE CONSERVATION BOARD

### MAINTENANCE AND ADDITIONAL WORKS TO OUDEBOSCH CABINS AT KOGELBERG NATURE RESERVE

CONTRACT NO. CONTRACT NO: WCNCB 07/10/2023

#### SCHEDULE 1C: COMPULSORY ENTERPRISE QUESTIONNAIRE

The following particulars **must** be furnished. In the case of a joint venture, **separate** enterprise questionnaires in respect of each partner must be completed and submitted.

**Section 1:** Name of enterprise:

**Section 2:** VAT registration number, if any:

**Section 3:** CIDB registration number:

**Section 4:** CSD registration number:

**Section 5:** Particulars of sole proprietors and partners in partnerships

Name*	Identity number*	Personal income tax number*

\* Complete only if sole proprietor or partnership and attach separate page if more than 3 partners

#### **Section 6: Particulars of companies and close corporations**

Company registration number .....

Close corporation number .....

Tax reference number .....

Bank name and branch .....

Bank account number .....

Name of account holder .....

#### **Section 7: Record of service of the state**

Indicate by marking the relevant boxes with a cross, if any sole proprietor, partner in a partnership or director, manager, principal shareholder or stakeholder in a company or close corporation is currently or has been within the last 12 months in the service of any of the following:

- |  |   |
|--|---|
| <input type="checkbox"/> a member of any municipal council                                     | <input type="checkbox"/> an employee of any provincial department, national or provincial public entity or constitutional institution within the meaning of the Public Finance Management Act, 1999 (Act 1 of 1999) |
| <input type="checkbox"/> a member of any provincial legislature                                | <input type="checkbox"/> a member of an accounting authority of any national or provincial public entity  |
| <input type="checkbox"/> a member of the National Assembly or the National Council of Province | <input type="checkbox"/> an employee of Parliament or a provincial legislature  |
| <input type="checkbox"/> a member of the board of directors of any municipal entity            |   |
| <input type="checkbox"/> an official of any municipality or municipal entity                   |   |

If any of the above boxes are marked, disclose the following: (insert separate page if necessary)

Name of sole proprietor, partner, director, manager, principal shareholder or stakeholder	Name of institution, public office, board or organ of state and position held	Status of service (tick appropriate column)	
		current	Within last 12 months

\* Insert separate page if necessary

#### Section 7: Record of spouses, children and parents in the service of the state

Indicate by marking the relevant boxes with a cross, if any spouse, child or parent of a sole proprietor, partner in a partnership or director, manager, principal shareholder or stakeholder in a company or close corporation is currently or has been within the last 12 months been in the service of any of the following:

- |  |   |
|--|---|
| <input type="checkbox"/> a member of any municipal council                                     | <input type="checkbox"/> an employee of any provincial department, national or provincial public entity or constitutional institution within the meaning of the Public Finance Management Act, 1999 (Act 1 of 1999) |
| <input type="checkbox"/> a member of any provincial legislature                                |   |
| <input type="checkbox"/> a member of the National Assembly or the National Council of Province | <input type="checkbox"/> a member of an accounting authority of any national or provincial public entity  |
| <input type="checkbox"/> a member of the board of directors of any municipal entity            | <input type="checkbox"/> an employee of Parliament or a provincial legislature  |
| <input type="checkbox"/> an official of any municipality or municipal entity                   |   |

Name of spouse, child or parent	Name of institution, public office, board or organ of state and position held	Status of service (tick appropriate column)	
		current	Within last 12 months

\* Insert separate page if necessary

The undersigned, who warrants that he/she is duly authorised to do so on behalf of the enterprise:

- authorizes the Employer to obtain a tax clearance certificate from the South African Revenue Services that my / our tax matters are in order;
- confirms that neither the name of the enterprise nor the name of any partner, manager, director or other person, who wholly or partly exercises, or may exercise, control over the enterprise appears on the Register of Tender Defaulters established in terms of the Prevention and Combating of Corrupt Activities Act of 2004;
- confirms that no partner, member, director or other person, who wholly or partly exercises, or may exercise, control over the enterprise appears, has within the last five years been convicted of fraud or corruption;
- confirms that I / we are not associated, linked or involved with any other tendering entities submitting tender offers and have no other relationship with any of the tenderers or those responsible for compiling the scope of work that could cause or be interpreted as a conflict of interest;
- confirms that the contents of this questionnaire are within my personal knowledge and are to the best of my belief both true and correct.

Signed \_\_\_\_\_ Date \_\_\_\_\_

Name \_\_\_\_\_ Position \_\_\_\_\_

Enterprise name \_\_\_\_\_

**WESTERN CAPE NATURE CONSERVATION BOARD**

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**SCHEDULE 1D : PERSONNEL SCHEDULE**

<b>Job Description</b>	<b>Non-Local</b>	<b>Local</b>
Contract Manager		
Site Agent		
Quantity Surveyor		
Surveyors		
General Foreman		
Foremen		
Clerks		
Operators		
Bricklayers		
Learner Bricklayers		
Steel fixers		
Watchmen		
Gang Bosses		
Pipe Layers		
Carpenters		
Labourers		
* Other		

\* To be filled in by Tenderer

Signed .....

Date .....

Name .....

Position .....

Tenderer .....

**WESTERN CAPE NATURE CONSERVATION BOARD**

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**SCHEDULE 1E : SCHEDULE OF PLANT AND EQUIPMENT**

The following are lists of major items of relevant equipment that I/we **presently** own or lease and will have available for this contract or will acquire or hire for this contract if my/our tender is accepted.

(a) Details of major equipment that is owned by and immediately available for this contract.

Quantity	Description, Size, Capacity, etc

Attach additional pages if more space is required.

(b) Details of major equipment that will be hired, or acquired for this contract if my/our tender is acceptable.

Quantity	Description, Size, Capacity, etc

Attach additional pages if more space is required.

Signed .....

Date .....

Name .....

Position .....

Tenderer .....

**WESTERN CAPE NATURE CONSERVATION BOARD**

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**SCHEDULE 1F: SCHEDULE OF WORK SATISFACTORILY  
CARRIED OUT BY THE TENDERER**

The following is a statement of similar work successfully executed by myself/ourselves:

Employer, contact person and telephone number	Description of Contract	Value of Work Inclusive of VAT (Rand)	Date Completed

Signed .....

Date .....

Name .....

Position .....

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<b>SCHEDULE 1G : ESTIMATED MONTHLY CASH-FLOW</b>
--

The Tenderer shall state below the estimated value of work to be completed every month, based on his preliminary programme and his tendered unit rates.

The amounts for **Contingencies and Contract Price Adjustment** must **not be** included. The Tenderer must make note of any cash-flow restrictions.

MONTH	VALUE
1	
2	
3	
4	
5	
6	
7	
8	
9	
10	
TOTAL	

Signed .....

Date .....

Name .....

Position .....

Tenderer .....

**WESTERN CAPE NATURE CONSERVATION BOARD**

**MAINTENANCE AND ADDITIONAL WORKS TO OUDEBOSCH CABINS AT  
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**CONTRACT NO. CONTRACT NO: WCNCB 07/10/2023**

**SCHEDULE 1H : SCHEDULE OF PROPOSED SUBCONTRACTORS**

Note from Architect: Acceptance of this tender shall not be construed as approval of all or any of the listed subcontractors. Should any of the subcontractors not be approved subsequent to acceptance of the tender, this shall in no way invalidate this tender, and the tendered unit rates for the various items of work shall remain final and binding, even in the event of a subcontractor not listed below being approved by the Architect.

We notify you that it is our intention to employ the following Subcontractors to work on this contract.

If we are awarded the contract we agree that this notification does not change the requirement for us to submit the names of proposed Subcontractors in accordance with requirements in the contract for such appointments.

A company awarded a contract may not subcontract more than 25% of the value of the contract to a company with a lower BBBEE rating, unless the intended sub-contractors are exempted micro enterprises that have the capability and ability to execute the sub-contract works.

No.	Name and Address of Proposed Subcontractor	Nature and Extent of Work	Previous Experience with Subcontractor
1.			
2.			
3.			
4.			
5.			
6.			
7.			

Signed .....

Date .....

Name .....

Position .....

Tenderer .....

**WESTERN CAPE NATURE CONSERVATION BOARD**  
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**SCHEDULE 1I: PROPOSED AMENDMENTS AND QUALIFICATIONS**

The Tenderer should record any deviations or qualifications he may wish to make to the tender documents in this Returnable Schedule. Alternatively, a tenderer may state such deviations and qualifications in a covering letter to his tender and reference such letter in this schedule.

The Tenderers attention is drawn to clause F3.8 of the Standard Conditions of Tender references in the Tender Data regarding the employer's handling of material deviations and qualifications.

Page	Clause or Item	Proposal

Signed .....

Date .....

Name .....

Position .....

Tenderer .....

**WESTERN CAPE NATURE CONSERVATION BOARD**

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**SCHEDULE 1J : DECLARATION CONCERNING FULFILLMENT OF THE CONSTRUCTION  
REGULATIONS, 2003**

In terms of regulation 4(3) of the Construction Regulations, 2003 (hereinafter referred to as the Regulations), promulgated on 18 July 2003 in terms of Section 43 of the Occupational Health and Safety Act, 1993 (Act No 85 of 1993) the Employer shall not appoint a contractor to perform construction work unless the Contractor can satisfy the Employer that his/her firm has the necessary competencies and resources to carry out the work safely and has allowed adequately in his/her tender for the due fulfilment of all the applicable requirements of the Act and the Regulations.

Tenderers shall answer the questions below:

1. I confirm that I am fully conversant with the Regulations and that my company has (or will acquire/procure) the necessary competencies and resources to timeously, safely and successfully comply with all of the requirements of the Regulations. (Tick)

YES	
NO	

2. Indicate which approach shall be employed to achieve compliance with the Regulations.  
(Tick)

Own resources, competent in terms of the Regulations (refer to 3 below)	
Own resources, still to be hired and/or trained (until competency is achieved)	
Specialist subcontract resources (competent) - Specify:	
.....	
.....	
.....	
.....	
.....	

3. Provide details of proposed key persons, competent in terms of the Regulations, who will form part of the Contract team as specified in the Regulations (CVs to be attached):

.....

.....

.....

.....

4. Provide details of proposed training (if any) that will be undergone:

.....  
.....  
.....  
.....

5. List potential key risks identified and measures for addressing risks:

.....  
.....  
.....  
.....

6. I have fully included in my tendered rates and prices (in the appropriate payment items provided in the Schedule of Quantities) for all resources, actions, training and any other costs required for the due fulfilment of the Regulations for the duration of the construction and defects repair period (Tick).

YES	<input type="checkbox"/>
NO	<input type="checkbox"/>

**SIGNATURE OF PERSON(S) AUTHORISED TO SIGN THIS TENDER:**

1. .... ID NO: .....  
(Name in Print): .....  
  
2. .... ID NO: .....  
(Name in Print): .....

## WESTERN CAPE NATURE CONSERVATION BOARD

### MAINTENANCE AND ADDITIONAL WORKS TO OUDEBOSCH CABINS AT KOGELBERG NATURE RESERVE

CONTRACT NO. CONTRACT NO: WCNCB 07/10/2023

#### SCHEDULE 1K : PREFERENCE POINTS

#### PREFERENCE POINTS CLAIM FORM IN TERMS OF THE PREFERENTIAL PROCUREMENT REGULATIONS 2022 AND IN TERMS OF THE WESTERN CAPE GOVERNMENTS INTERIM STRATEGY AS IT RELATES TO PREFERENCE POINTS

This preference form must form part of all bids invited. It contains general information and serves as a claim form for preference points for Broad-Based Black Economic Empowerment (B-BBEE) Status Level of Contribution.

**NB: BEFORE COMPLETING THIS FORM, BIDDERS (TENDERERS) MUST STUDY THE GENERAL CONDITIONS, DEFINITIONS AND DIRECTIVES APPLICABLE IN RESPECT OF THE TENDER, PREFERENTIAL PROCUREMENT REGULATIONS, 2022 AND THE BROAD BASED BLACK ECONOMIC EMPOWERMENT ACT AND THE CODES OF GOOD PRACTICE**

#### 1. DEFINITIONS

- 1.1 **"acceptable tender"** means any tender which, in all respects, complies with the specifications and conditions of tender as set out in the tender document.
- 1.2 **"affidavit"** is a type of verified statement or showing, or in other words, it contains a verification, meaning it is under oath or penalty of perjury, and this serves as evidence to its veracity and is required for court proceedings.
- 1.3 **"all applicable taxes"** includes value-added tax, pay as you earn, income tax, unemployment insurance fund contributions and skills development levies;
- 1.4 **"B-BBEE"** means broad-based black economic empowerment as defined in section 1 of the Broad-Based Black Economic Empowerment Act;
- 1.5 **"B-BBEE status level of contributor"** means the B-BBEE status of an entity in terms of a code of good practice on black economic empowerment issued in terms of section 9(1) of the Broad-Based Black Economic Empowerment Act;
- 1.6 **"bid"** means a written offer on the official bid documents or invitation of price quotations and "tender" is the act of bidding/tendering;
- 1.7 **"Code of Good Practice"** means the generic codes or the sector codes as the case may be;
- 1.8 **"consortium or joint venture"** means an association of persons for the purpose of combining their expertise, property, capital, efforts, skill and knowledge in an activity for the execution of a contract;
- 1.9 **"contract"** means the agreement that results from the acceptance of a bid by an organ of state;
- 1.10 **"EME"** is an Exempted Micro Enterprise with an annual total revenue of R10 million or less.
- 1.11 **"Firm price"** means the price that is only subject to adjustments in accordance with the actual increase or decrease resulting from the change, imposition, or abolition of customs or excise duty and any other

- duty, levy, or tax, which, in terms of the law or regulation, is binding on the contractor and demonstrably has an influence on the price of any supplies, or the rendering costs of any service, for the execution of the contract;
- 1.12 **“Large Enterprise”** is any enterprise with an annual total revenue above R50 million;
- 1.13 **“non-firm prices”** means all prices other than “firm” prices;
- 1.14 **“person”** includes a juristic person;
- 1.15 **“price”** means an amount of money tendered for goods or services, and includes all applicable taxes less all unconditional discounts;
- 1.16 **“proof of B-BBEE status level contributor”** means-
- (a) The B-BBEE status level certificate issued by an authorized body or person;
  - (b) A sworn affidavit as prescribed in terms of the B-BBEE Codes of Good Practice; or
  - (c) Any other requirement prescribed in terms of the Broad-Based Black Economic Empowerment Act.
- 1.17 **QSE** is a Qualifying Small Enterprise with an annual total revenue between R10 million and R50 million;
- 1.18 **“rand value”** means the total estimated value of a contract in Rand, calculated at the time of the tender invitation; and includes all applicable taxes;
- 1.19 **“sub-contract”** means the primary contractor’s assigning, leasing, making out work to, or employing, another person to support such primary contractor in the execution of part of a project in terms of the contract.
- 1.20 **“tender”** means a written offer in the form determined by an organ of state in response to an invitation to provide or services through price quotations, competitive tendering process or any other method envisaged in legislation;
- 1.21 **“tender for income-generating contracts”** means a written offer in the form determined by an organ of state in response to an invitation for the origination of income-generating contracts through any method envisaged in legislation that will result in a legal agreement between the organ of state and a third party that produces revenue for the organ of state, and includes, but is not limited to, leasing and disposal of assets and concession contracts, excluding direct sales and disposal of assets through public auctions;
- 1.22 **“the Act”** means the Preferential Procurement Policy Framework Act, 2000 (Act No. 5 of 2000);
- 1.23 **“the Regulations”** means the Preferential Procurement Regulations, 2022;
- 1.24 **“total revenue”** bears the same meaning assigned to this expression in the Codes of Good Practice on Black Economic Empowerment, issued in terms of section 9(1) of the Broad-Based Black Economic Empowerment Act and promulgated in the Government Gazette on 11 October 2013;
- 1.25 **“trust”** means the arrangement through which the property of one person is made over or bequeathed to a trustee to administer such property for the benefit of another person; and
- 1.26 **“trustee”** means any person, including the founder of a trust, to whom property is bequeathed in order for such property to be administered for the benefit of another person.

## **2. GENERAL CONDITIONS**

- 2.1 The following preference point systems are applicable to all bids:

- the 80/20 system for requirements with a Rand value of up to R50 000 000 (all applicable taxes included); and
- the 90/10 system for requirements with a Rand value above R50 000 000 (all applicable taxes included).

2.2 Preference point system for this bid:

- The value of this bid is estimated to not exceed R50 000 000 (all applicable taxes included) and therefore the 80/20 preference point system shall be applicable; or
- The 80/20 preference point system will be applicable to this tender.

2.3 Preference points for this bid shall be awarded for:

- Price; and
- B-BBEE Status Level of Contribution

2.4 The maximum points for this bid are allocated as follows:

	POINTS
PRICE	
B-BBEE STATUS LEVEL OF CONTRIBUTOR	
<b>Total points Price and B-BBEE must not exceed</b>	<b>100</b>

2.5 Failure on the part of a bidder to fill in, sign this form and submit in the circumstances prescribed in the Codes of Good Practice either a B-BBEE Verification Certificate issued by a Verification Agency accredited by the South African Accreditation System (SANAS) or an affidavit confirming annual total revenue and level of black ownership together with the bid or an affidavit issued by Companies Intellectual Property Commission, will be interpreted to mean that preference points for B-BBEE status level of contribution are not claimed.

2.6 The organ of state reserves the right to require of a bidder, either before a bid is adjudicated or at any time subsequently, to substantiate any claim in regard to preferences, in any manner required by the organ of state.

### 3. ADJUDICATION USING A POINT SYSTEM

3.1 Subject to Section 2(1)(f) of the Preferential Procurement Policy Framework Act, 2000, the bidder obtaining **the highest number of total points** will be awarded the contract.

3.2 A tenderer must submit proof of its B-BBEE status level of contributor in order to claim points for B-BBEE.

3.3 A tenderer failing to submit proof of B-BBEE status level of contributor or is a non-compliant contributor to B-BBEE will not be disqualified but will only score:

- points out of 80 for price; and
- 0 points out of 20 for B-BBEE

3.4 Points scored must be rounded off to the nearest 2 decimal places.

- 3.5 In the event that two or more bids have scored equal total points, the successful bid must be the one scoring the highest number of preference points for B-BBEE.
- 3.6 As per section 2(1)(f) of the Preferential Procurement Policy Framework Act, 2000, the contract may be awarded to a bidder other than the one scoring the highest number of total points based on objective criteria in addition to those contemplated in paragraphs (d) and (e) of the Preferential Procurement Policy Framework Act, 2000 that justifies the award to another tenderer provided that it has been stipulated upfront in the tendering conditions.
- 3.7 Should two or more bids be equal in all respects; the award shall be decided by the drawing of lots.

#### **4. FORMULAE FOR PROCUREMENT OF GOODS AND SERVICES**

##### **4.1 POINTS AWARDED FOR PRICE**

##### **4.1.1 THE 80/20 OR 90/10 PREFERENCE POINT SYSTEM**

A maximum of 80 or 90 points is allocated for price on the following basis:

**80/20**

**or**

**90/10**

$$Ps = 80 \left( 1 - \frac{Pt - Pmin}{Pmin} \right) \quad \text{or} \quad Ps = 90 \left( 1 - \frac{Pt - Pmin}{Pmin} \right)$$

Where

Ps = Points scored for price of bid under consideration

Pt = Price of tender under consideration

Pmin = Price of lowest acceptable tender

#### **5. FORMULAE FOR DISPOSAL OR LEASING OF STATE ASSETS AND INCOME GENERATING PROCUREMENT**

##### **5.1 POINTS AWARDED FOR PRICE**

A maximum of 80 or 90 points is allocated for price on the following basis:

**80/20**

**or**

**90/10**

$$Ps = 80 \left( 1 - \frac{Pt - Pmax}{Pmax} \right) \quad \text{or} \quad Ps = 90 \left( 1 - \frac{Pt - Pmax}{Pmax} \right)$$

Where

Ps = Points scored for price of bid under consideration

Pt = Price of tender under consideration

Pmax = Price of highest acceptable tender

## 6. POINTS AWARDED FOR B-BBEE STATUS LEVEL OF CONTRIBUTION

- 6.1 In terms of WCG interim strategy, preference points must be awarded to a bidder for attaining the B-BBEE status level of contribution in accordance with the table below:

B-BBEE Status Level of Contributor	Number of points (90/10 system)	Number of points (80/20 system)
1	10	20
2	9	18
3	6	14
4	5	12
5	4	8
6	3	6
7	2	4
8	1	2
Non-compliant contributor	0	0

- 6.2 An **EME** must submit a valid, originally certified affidavit confirming annual turnover and level of black ownership or an affidavit issued by Companies Intellectual Property Commission.
- 6.3 A **QSE that is less than 51 per cent (50% or less) black owned** must be verified in terms of the QSE scorecard issued via Government Gazette and submit a valid, original or a legible certified copy of a B-BBEE Verification Certificate issued by SANAS.
- 6.4 A **QSE that is at least 51 per cent black owned (51% or higher)** must submit a valid, originally certified affidavit confirming turnover and level of black ownership as well as declare its empowering status or an affidavit issued by Companies Intellectual Property Commission.
- 6.5 A **large enterprise** must submit a valid, original or originally certified copy of a B-BBEE Verification Certificate issued by a verification agency accredited by SANAS.
- 6.6 A trust, consortium or joint venture, will qualify for points for their B-BBEE status level as a legal entity, provided that the entity submits their B-BBEE status level certificate.
- 6.7 A trust, consortium or joint venture (including unincorporated consortia and joint ventures) must submit a consolidated B-BBEE status level verification certificate for every separate tender.
- 6.8 Tertiary institutions and public entities will be required to submit their B-BBEE status level certificates in terms of the specialized scorecard contained in the B-BBEE Codes of Good Practice.

## 7. BID DECLARATION

- 7.1 Bidders who claim points in respect of B-BBEE Status Level of Contribution must complete the following:

**8. B-BBEE STATUS LEVEL OF CONTRIBUTION CLAIMED IN TERMS OF PARAGRAPH 6**

8.1 B-BBEE Status Level of Contribution ..... = ..... (maximum of 20 points)

(Points claimed in respect of paragraph 7.1 must be in accordance with the table reflected in paragraph 6.1 and must be substantiated by means of a B-BBEE certificate issued by a Verification Agency accredited by SANAS or an affidavit confirming annual total revenue and level of black ownership in terms of the relevant sector code applicable to the tender.

**9. SUB-CONTRACTING**

9.1 Will any portion of the contract be sub-contracted? **YES / NO**

9.1.1 If yes, indicate:

(i) what percentage of the contract will be subcontracted? .....%

(ii) the name of the sub-contractor? .....

(iii) the B-BBEE status level of the sub-contractor? .....

(iv) whether the sub-contractor is an EME or QSE? **YES / NO**

9.1.2 Sub-contracting relates to a **particular** contract and if sub-contracting is applicable, the bidder to state in their response to a particular RFQ that a portion of that contract will be sub-contracted.

**10. DECLARATION WITH REGARD TO COMPANY/FIRM**

10.1 Name of company/entity : .....

10.2 VAT registration number : .....

10.3 Company Registration number : .....

10.4 TYPE OF COMPANY/FIRM

☐ Partnership/ Joint Venture/ Consortium

☐ One-person business/ sole propriety

☐ Close corporation

☐ Public Company

☐ Personal Liability Company

☐ (Pty) Limited

☐ Non-Profit Company

☐ State Owned Company

[SELECT APPLICABLE ONE]

10.5 I/we, the undersigned, who is / are duly authorised to do so on behalf of the company/firm, certify that the points claimed, based on the B-BBEE status level of contribution indicated in paragraph 7 above, qualifies the company/ firm for the preference(s) shown and I / we acknowledge that:

- (a) The Western Cape Government reserves the right to audit the B-BBEE status claim submitted by the bidder.
- (b) As set out in Section 13O of the B-BBEE Act as amended, any misrepresentation constitutes a criminal offence. A person commits an offence if that person knowingly:
  - (i) misrepresents or attempts to misrepresent the B-BBEE status of an enterprise;
  - (ii) provides false information or misrepresents information to a B-BBEE Verification Professional in order to secure a particular B-BBEE status or any benefit associated with compliance to the B-BBEE Act;
  - (iii) provides false information or misrepresents information relevant to assessing the B-BBEE status of an enterprise to any organ of state or public entity; or
  - (iv) engages in a fronting practice.
- (c) If a B-BBEE verification professional or any procurement officer or other official of an organ of state or public entity becomes aware of the commission of, or any attempt to commit any offence referred to in paragraph 10.5 (a) above will be reported to an appropriate law enforcement agency for investigation.
- (d) Any person convicted of an offence by a court is liable in the case of contravention of 10.5 (b) to a fine or to imprisonment for a period not exceeding 10 years or to both a fine and such imprisonment or, if the convicted person is not a natural person to a fine not exceeding 10 per cent of its annual turnover.
- (e) The purchaser may, if it becomes aware that a bidder may have obtained its B-BBEE status level of contribution on a fraudulent basis, investigate the matter. Should the investigation warrant a restriction be imposed, this will be referred to the National Treasury for investigation, processing and imposing the restriction on the National Treasury's List of Restricted Suppliers. The bidder or contractor, its shareholders and directors, or only the shareholders and directors who acted on a fraudulent basis, may be restricted from obtaining business from any organ of state for a period not exceeding 10 years, after the audi alteram partem (hear the other side) rule has been applied.
- (f) The purchaser may, in addition to any other remedy it may have –
  - (i) disqualify the person from the bidding process;
  - (ii) recover costs, losses or damages it has incurred or suffered as a result of that person's conduct;
  - (iii) cancel the contract and claim any damages which it has suffered as a result of having to make less favourable arrangements due to such cancellation; and
  - (iv) forward the matter for criminal prosecution.
- (g) The information furnished is true and correct.
- (h) The preference points claimed are in accordance with the General Conditions as indicated in paragraph 2 of this form.

**SIGNATURE(S) OF THE BIDDER(S):** .....

**DATE:** .....

**ADDRESS:** .....

.....

**WITNESSES:**

1. ....

2. ....

**WESTERN CAPE NATURE CONSERVATION BOARD**  
**MAINTENANCE AND ADDITIONAL WORKS TO OUDEBOSCH CABINS AT**  
**KOGELBERG NATURE RESERVE**

**CONTRACT NO: WCNCB 07/10/2023**

<b>SCHEDULE 1L : CERTIFICATE OF INDEPENDENT BID DETERMINATION</b>
---

- 1 Section 4 (1) (b) (iii) of the Competition Act No. 89 of 1998, as amended, prohibits an agreement between, or concerted practice by, firms, or a decision by an association of firms, if it is between parties in a horizontal relationship and if it involves collusive bidding (or bid rigging).<sup>2</sup> Collusive bidding is a *per se* prohibition meaning that it cannot be justified under any grounds.
  
- 2 Supply Chain Regulation prescribes that a supply chain management policy must provide measures for the combating of abuse of the supply chain management system, and must enable the accounting officer, among others, to:
  - a. take all reasonable steps to prevent such abuse;
  - b. reject the bid of any bidder if that bidder or any of its directors has abused the supply chain management system of the WESTERN CAPE NATURE CONSERVATION BOARD or has committed any improper conduct in relation to such system; and
  - c. cancel a contract awarded to a person if the person committed any corrupt or fraudulent act during the bidding process or the execution of the contract.
  
1. This serves as a certificate of declaration that would be used by institutions to ensure that, when bids are considered, reasonable steps are taken to prevent any form of bid-rigging.
2. In order to give effect to the above, the attached Certificate of Bid Determination must be completed and submitted with the bid:

<sup>1</sup> Includes price quotations, advertised competitive bids, limited bids and proposals.

<sup>2</sup> Bid rigging (or collusive bidding) occurs when businesses, that would otherwise be expected to compete, secretly conspire to raise prices or lower the quality of goods and / or services for purchasers who wish to acquire goods and / or services through a bidding process. Bid rigging is, therefore, an agreement between competitors not to compete.

## CERTIFICATE OF INDEPENDENT BID DETERMINATION

I, the undersigned, in submitting the accompanying bid:

.....

(Bid Number and Description)

in response to the invitation for the bid made by:

### WESTERN CAPE NATURE CONSERVATION BOARD

do hereby make the following statements that I certify to be true and complete in every respect:

I certify, on behalf of: \_\_\_\_\_ that:

(Name of Bidder)

1. I have read and I understand the contents of this Certificate;
2. I understand that the accompanying bid will be disqualified if this Certificate is found not to be true and complete in every respect;
3. I am authorized by the bidder to sign this Certificate, and to submit the accompanying bid, on behalf of the bidder;
4. Each person whose signature appears on the accompanying bid has been authorized by the bidder to determine the terms of, and to sign, the bid, on behalf of the bidder;
5. For the purposes of this Certificate and the accompanying bid, I understand that the word "competitor" shall include any individual or organization, other than the bidder, whether or not affiliated with the bidder, who:
  - has been requested to submit a bid in response to this bid invitation;
  - (b) could potentially submit a bid in response to this bid invitation, based on their qualifications, abilities or experience; and
  - (c) provides the same goods and services as the bidder and/or is in the same line of business as the bidder
6. The bidder has arrived at the accompanying bid independently from, and without consultation, communication, agreement or arrangement with any competitor. However communication between partners in a joint venture or consortium<sup>3</sup> will not be construed as collusive bidding.
7. In particular, without limiting the generality of paragraphs 6 above, there has been no consultation, communication, agreement or arrangement with any competitor regarding:
  - (a) prices;

- (b) geographical area where product or service will be rendered (market allocation)
- (c) methods, factors or formulas used to calculate prices;
- (d) the intention or decision to submit or not to submit, a bid;
- (e) the submission of a bid which does not meet the specifications and conditions of the bid; or
- (f) bidding with the intention not to win the bid.

8. In addition, there have been no consultations, communications, agreements or arrangements with any competitor regarding the quality, quantity, specifications and conditions or delivery particulars of the products or services to which this bid invitation relates.
9. The terms of the accompanying bid have not been, and will not be, disclosed by the bidder, directly or indirectly, to any competitor, prior to the date and time of the official bid opening or of the awarding of the contract.

<sup>3</sup> Joint venture or Consortium means an association of persons for the purpose of combining their expertise, property, capital, efforts, skill and knowledge in an activity for the execution of a contract.

10. I am aware that, in addition and without prejudice to any other remedy provided to combat any restrictive practices related to bids and contracts, bids that are suspicious will be reported to the Competition Commission for investigation and possible imposition of administrative penalties in terms of section 59 of the Competition Act No 89 of 1998 and or may be reported to the National Prosecuting Authority (NPA) for criminal investigation and or may be restricted from conducting business with the public sector for a period not exceeding ten (10) years in terms of the Prevention and Combating of Corrupt Activities Act No 12 of 2004 or any other applicable legislation.

.....  
Signature

.....  
Date

.....  
Position

.....  
Name of Bidder

**WESTERN CAPE NATURE CONSERVATION BOARD**

**MAINTENANCE AND ADDITIONAL WORKS TO OUDEBOSCH CABINS AT  
KOGELBERG NATURE RESERVE**

**CONTRACT NO. WCNCB 07/10/2023**

**SCHEDULE 1M: CONTRACT FORM - RENDERING OF SERVICES**

**THIS FORM MUST BE FILLED IN DUPLICATE BY BOTH THE SERVICE PROVIDER (PART 1) AND THE PURCHASER (PART 2). BOTH FORMS MUST BE SIGNED IN THE ORIGINAL SO THAT THE SERVICE PROVIDER AND THE PURCHASER WOULD BE IN POSSESSION OF ORIGINALLY SIGNED CONTRACTS FOR THEIR RESPECTIVE RECORDS.**

**PART 1 (TO BE FILLED IN BY THE BIDDER)**

1. I hereby undertake to render services described in the attached bidding documents to the WESTERN CAPE NATURE CONSERVATION BOARD in accordance with the requirements and task directives / proposals specifications stipulated in Bid Number WCNCB 07/10/2023 at the price/s quoted. My offer/s remain binding upon me and open for acceptance by the Purchaser during the validity period indicated and calculated from the closing date of the bid.
2. The following documents shall be deemed to form and be read and construed as part of this agreement:
  - (i) Bidding documents, viz
    - Invitation to bid;
    - Tax clearance certificate;
    - Pricing schedule(s);
    - Filled in task directive/proposal;
    - Preference claims for Broad Based Black Economic Empowerment Status Level of Contribution in terms of the Preferential Procurement Regulations 2011;
    - Declaration of interest;
    - Declaration of Bidder's past SCM practices;
    - Certificate of Independent Bid Determination;
    - Special Conditions of Contract;
  - (ii) JBCC Principal Building Agreement; and
  - (ii) And/or WCBD4
3. I confirm that I have satisfied myself as to the correctness and validity of my bid; that the price(s) and rate(s) quoted cover all the services specified in the bidding documents; that the price(s) and rate(s) cover all my obligations and I accept that any mistakes regarding price(s) and rate(s) and calculations will be at my own risk.
4. I accept full responsibility for the proper execution and fulfillment of all obligations and conditions devolving on me under this agreement as the principal liable for the due fulfillment of this contract.
5. I declare that I have no participation in any collusive practices with any bidder or any other person regarding this or any other bid.
6. I confirm that I am duly authorized to sign this contract.

NAME (PRINT) .....

CAPACITY .....

SIGNATURE .....

NAME OF FIRM .....

DATE .....

**WITNESSES**

1 .....

2 .....

DATE: .....

**PART 2 (TO BE FILLED IN BY THE WESTERN CAPE NATURE CONSERVATION BOARD)**

1. I, ..... in my capacity as ..... accept your bid under reference number ..... dated ... ..... 2023 for the rendering of services indicated hereunder and/or further specified in the annexure(s).
2. An official order indicating service delivery instructions is forthcoming.
3. I undertake to make payment for the services rendered in accordance with the terms and conditions of the contract, within 30 (thirty) days after receipt of an invoice.

DESCRIPTION OF SERVICE	PRICE (ALL APPLICABLE TAXES INCLUDED)	COMPLETION DATE	B-BBEE STATUS LEVEL	MINIMUM THRESHOLD FOR LOCAL PRODUCTION AND CONTENT (if applicable)
MAINTENANCE AND ADDITIONAL WORKS TO OUDEBOSCH CABINS AT KOGELBERG NATURE RESERVE	R .....			N/A

4. I confirm that I am duly authorized to sign this contract.

SIGNED AT ..... ON .....

NAME (PRINT) .....

SIGNATURE .....

OFFICIAL STAMP

--

WITNESSES

3 .....

4 .....

DATE: .....

**WESTERN CAPE NATURE CONSERVATION BOARD**

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KOGELBERG NATURE RESERVE**

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<p><b>SCHEDULE 2A : DOCUMENTS OF INCORPORATION</b></p>
--

The tenderer must attach to this page a copy of the certificate of incorporation of his/her company, close corporation or partnership. In the case of a joint venture between two or more firms, the tenderer shall attach a copy of the document of incorporation of the joint venture.

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**SCHEDULE 2B : TAX CLEARANCE CERTIFICATE**

**IT IS A CONDITION OF THE TENDER THAT -**

1. The taxes of the successful service provider **must** be in order, or that satisfactory arrangements have been made with the Receiver of Revenue to meet his / her tax obligations.
2. Application for tax clearance must be done through the Receiver of Revenue office where the service provider is registered for tax purposes. The Receiver of Revenue will then furnish the Supplier with a Tax Clearance Certificate that will be valid for a period of one year from date of issue.
3. This Tax Clearance Certificate must be submitted in the original together with the tender. Failure to submit the **original** and valid Tax Clearance Certificate **will** invalidate the tender. If a tax clearance certificate was submitted previously to CapeNature please indicate as such.
4. In quotations where Consortia / Joint Ventures / Sub-contractors are involved each party must submit a separate Tax Clearance Certificate. Copies of the Application for Tax Clearance Certificates are available at any Receiver's Office.

<b>HAS A TAX CLEARANCE CERTIFICATE BEEN SUBMITTED</b>	YES	NO
<b>ARE YOU THE ACCREDITED REPRESENTATIVE IN SOUTH AFRICA FOR THE GOODS/SERVICES OFFERED BY YOU?</b>  (IF YES ENCLOSE PROOF)	Yes	No

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**SCHEDULE 2C : BROAD-BASED BLACK ECONOMIC EMPOWERMENT (B-BBEE)  
STATUS LEVEL CERTIFICATES**

A bidder who qualifies as an EME in terms of the B-BBEE Act **must** submit a sworn affidavit confirming Annual Total Revenue and Level of Black Ownership.

A Bidder other than EME or QSE **must submit their original and valid B-BBEE status level verification certificate or a certified copy** thereof, substantiating their B-BBEE rating issued by a Registered Auditor approved by IRBA or a Verification Agency accredited by SANAS.

<b>MINIMUM REQUIREMENTS FOR VALID B-BBEE STATUS LEVEL VERIFICATION CERTIFICATES (The following information must be on the face of the certificate)</b>	Indicate with (x)	
	<b>yes</b>	<b>no</b>
The name and the physical location of the measured entity		
The registration number and, where applicable, the VAT number of the measured entity		
The date of issue and date of expiry		
The certificate number for identification and reference		
The scorecard that was used (for example EME, QSE or Generic)		
The name and / or logo of the verification Agency		
The SANAS logo		
The certificate must be signed by the authorized person from the Verification Agency		
The B-BBEE Status level of Contribution obtained by the measured entity.		

Failure on the part of a bidder **to claim, fill in and/or to sign CAMBD 6.1 and submit** a B-BBEE Verification Certificate from a Verification Agency accredited by the South African Accreditation System (SANAS), or a Registered Auditor approved by the Independent Regulatory Board of Auditors (IRBA) or a sworn affidavit confirming annual turnover and level of black ownership in case of an EME and QSE together with the bid, will be interpreted to mean that preference points for B-BBEE status level of contribution are not claimed.

Signed ..... Date .....

Name ..... Position .....

TENDERER .....

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<p><b>SCHEDULE 2D: PROOF OF REGISTRATION WITH THE CONSTRUCTION INDUSTRY DEVELOPMENT BOARD (CIDB)</b></p>
--

Tenderers must provide their CIDB number and details. Failure to do so may result in the tender being invalid.

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<b>SCHEDULE 2E: JOINT VENTURE AGREEMENT, IF APPLICABLE</b>
--

Tenderers shall attach to this page, a copy of their Joint Venture Agreement if applicable.

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**SCHEDULE 3A: RECORD OF ADDENDA TO TENDER DOCUMENTS**

We confirm that the following communications received from the Employer before the submission of this tender offer, amending the tender documents, have been taken into account in this tender offer :

<b>No.</b>	<b>Date</b>	<b>Title or Details</b>
1.		
2.		
3.		
4.		
5.		
6.		
7.		
8.		
9.		
10.		

Attach additional pages if more space is required.

Signed ..... Date .....

Name ..... Position .....

Tenderer.....

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<b>SCHEDULE 3B : CURRICULUM VITAE OF KEY PERSONNEL</b>
--

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<b>SCHEDULE 3C: FIRST PROGRAMME AND METHOD STATEMENT</b>
--

The tenderer must attach to this schedule a detailed programme of the works that clearly indicates how the works in the bill of quantities is incorporated into the programme.

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<b>PART C1 : AGREEMENT AND CONTRACT DATA</b>
--

- C1.1      Form of Offer and Acceptance**
- C1.2      Contract Data**
- C1.3      Form of Guarantee (Pro Forma)**
- C1.4      OHS AGREEMENT**
- C1.5      Environmental Management Plan**

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**C1.1 : FORM OF OFFER AND ACCEPTANCE**

**1. OFFER**

The employer, identified in the acceptance signature block, has solicited offers to enter into a contract for the procurement of:

**MAINTENANCE AND ADDITIONAL WORKS TO OUDEBOSCH CABINS AT KOGELBERG NATURE RESERVE**

The tenderer, identified in the offer signature block, has examined the documents listed in the tender data and addenda thereto as listed in the tender schedules, and by submitting this offer has accepted the conditions of tender.

By the representative of the tenderer, deemed to be duly authorized, signing this part of this form of offer and acceptance, the tenderer offers to perform all of the obligations and liabilities of the Contractor under the contract including compliance with all its terms and conditions according to their true intent and meaning for an amount to be determined in accordance with the Conditions of Contract identified in the Contract Data.

**The offered total of the prices inclusive of Value-Added Tax is .....**

..... Rand (in words); **R**.....(in figures)

This offer may be accepted by the employer by signing the acceptance part of this form of offer and acceptance and returning one copy of this document to the tenderer before the end of the period of validity stated in the tender data, whereupon the tenderer becomes the party named as the contractor in terms of the conditions of contract identified in the contract data.

Signature(s) .....

Name(s) .....

Capacity .....

for the **Tenderer** .....  
(Name and address of organisation)

Name ..... and ..... signature  
of witness ..... Date .....

**2. ACCEPTANCE**

By signing this part of this form of offer and acceptance, the employer identified below accepts the tenderer's offer. In consideration thereof, the employer shall pay the contractor the amount due in accordance with the conditions of contract identified in the contract data. Acceptance of the tenderer's offer shall form an agreement between the employer and the tenderer upon the terms and conditions contained in this agreement and in the contract that is the subject of this agreement.

The terms of the contract are contained in

Part C1 : Agreements and contract data (which includes this agreement)

Part C2 : Pricing data

Part C3 : Scope of work

Part C4 : Site Information

and drawings and documents or parts thereof, which may be incorporated by reference into Parts C1 to C4 above.

Deviations from and amendments to the documents listed in the tender data and any addenda thereto, as listed in the tender schedules as well as any changes to the terms of the offer agreed by the tenderer and the employer during this process of offer and acceptance, are contained in the schedule of deviations attached to and forming part of this agreement. No amendments to or deviations from said documents are valid unless contained in this schedule.

The tenderer shall, within TWO (2) weeks after receiving a completed copy of this agreement including the schedule of deviation (if any), contact the employer's agent (whose details are given in the contract data) to arrange the delivery of any bonds, guarantees, proof insurance and any other documentation to be provided in terms of the conditions of contract identified in the contract data. Failure to fulfil any of the obligations in accordance with those terms shall constitute a repudiation of this agreement.

Notwithstanding anything contained herein, this agreement comes into effect on the date when the tenderer receives one fully completed original copy of this document, including the schedule of deviations (if any). Unless the tenderer (now contractor), within five (5) working days of the date of such receipt, notifies the employer in writing of any reason why he cannot accept the contents of this agreement, this agreement shall constitute a binding contract between the parties.

Signature(s) .....

Name(s) .....

Capacity .....

for the **Employer** .....  
(Name and address of organisation)

Name and signature of witness ..... Date .....

### 3. SCHEDULE OF DEVIATIONS

**Notes:**

1. The extent of deviations from the tender documents issued by the employer before the tender closing date is limited to those permitted in terms of the conditions of tender.
2. Any other matter arising from the process of offer and acceptance either as a confirmation, clarification or change to the tender documents, and which it is agreed by the parties becomes an obligation of the contract, shall also be recorded here.
3. Any change or addition to the tender documents arising from the above agreements and recorded here shall also be incorporated into the final draft of the contract.
4. A tenderers covering letter shall not be included in the final contract document. Should any matter in such letter, which constitutes a deviation as aforesaid, be the subject of agreements reached during the process of offer and acceptance, the outcome of such agreement shall be recorded here.

1. Subject .....  
Details .....
2. Subject .....  
Details .....
3. Subject .....  
Details .....
4. Subject .....  
Details .....
5. Subject .....  
Details .....

By the duly authorized representatives signing this schedule of deviations, the employer and the tenderer agree to and accept the foregoing schedule of deviations as the only deviations from and amendments to the documents listed in the tender data and addenda thereto as listed in the tender schedules, as well as any confirmation, clarification or changes to the terms of the offer agreed by the tenderer and the employer during this process of offer and acceptance.

It is expressly agreed that no other matter whether in writing, oral communication or implied during the period between the issue of the tender documents and the receipt by the tenderer of a completed signed copy of this agreement shall have any meaning or effect in the contract between the parties arising from this agreement.

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<b>C1.2: CONTRACT DATA (PART 1)</b>
-------------------------------------

The JBCC Principal Building Agreement: Edition 6.2 - May 2018, published by the Joint Building Contracts Committee (JBCC), is applicable to this Contract and is obtainable from [www.jbcc.co.za](http://www.jbcc.co.za)

The following contract specific data, referring to the JBCC Principal Building Agreement: Contract Data, Edition 6.2 – May 2018, are applicable to this Contract:

	<p><b>CONTRACT VARIABLES</b></p> <p><b>THE SCHEDULE</b></p> <p>The <b>schedule</b>, as referred to in the contract agreement, is fully contained in this contract data section, contains all variables referred to in this document and is divided into pre-tender and post-tender categories. The pre-tender category must be completed in full and included in the tender documents. Both the pre-tender and post-tender categories form part of this <b>agreement</b></p> <p>Spaces requiring information must be filled in, shown as 'not applicable' or deleted but not left blank. Where choices are offered, the non-applicable items are to be deleted. Where insufficient space is provided the information should be annexed hereto and cross referenced to the applicable clause of the <b>schedule</b>. Key cross reference clauses are italicised in [ ] brackets</p>
--	---

<b>A</b>	<b>PROJECT INFORMATION</b>
A1.0 <i>[1.1]</i>	<b>WORKS</b>  <b>Project Name:</b>  MAINTENANCE AND ADDITIONAL WORKS TO OUDEBOSCH CABINS AT KOGELBERG NATURE RESERVE  <b>Reference Number:</b>  WCNCB 07/10/2023  <b>Work Description:</b>  Refer to Part C3: Scope of Work.
A2.0 <i>[1.1]</i>	<b>SITE</b>  <b>Erf / stand number:</b>  Hangklip, 92/559, Caledon  <b>Township / Suburb:</b>  Caledon  <b>Site Address:</b>  Kogelberg Nature Reserve, Off- R44 between Kleinmond and, Betty's Bay, 7141  <b>Local Authority:</b>  Overberg Municipality
A3.0 <i>[1.1]</i>	<b>EMPLOYER</b>  The Employer is CapeNature  The Employer's address for receipt of communications and notices is: Contact Person: Mr. Ramese Mathews  Telephone: (087) 087 3175 ; E-mail: rmathews@capenature.co.za  Address (Postal): Private Bag X29      Address (Physical): Cnr of Bosduif & Volstruis Streets Gatesville      Bridgetown  7766      7764

<p>A4.0</p> <p>[1.1]</p>	<p><b>PROJECT MANAGER</b></p> <p>CapeNature</p> <p>Legal entity: Schedule 3C Public Entity</p> <p>Practice registration number: N/A</p> <p>Country: South Africa</p> <p>Contact Person: Ramese Mathews; Tel number: 087 087 3175</p> <p>E-mail: rmathews@capenature.co.za</p> <p>Postal address: Private Bag x29 Gatesville 7766</p> <p>Physical address: PGWC Shared Services Centre, Cnr Bosduif &amp; Volstruis Streets, Bridgetown, 7764</p>
<p>A5.0</p> <p>[1.1, 6.2]</p>	<p><b>AGENT</b></p> <p>Discipline: N/A</p> <p>Name: N/A</p> <p>Refer to details in A4.0</p>

<p><b>B</b></p>	<p><b>CONTRACT INFORMATION</b></p>
<p>B1.0</p> <p>[1.1]</p>	<p><b>Bills of Quantities: System / Method of measurement:</b> Based on Architect's report descriptions which must be read in conjunction with photos and site inspection information.</p>
<p>B2.0</p> <p>[2.0]</p>	<p><b>Law Applicable to the works:</b> Law of the Republic of South Africa.</p>
<p>B3.0</p> <p>[3.0]</p>	<p><b>Currency acceptable to this agreement:</b> ZAR</p>
<p>B4.0</p> <p>[5.0]</p>	<p><b>DOCUMENTS</b></p> <p>The original signed agreement is to be held by the Project Manager [5.2]</p> <p>Number of copies of construction information issued to the contractor at no cost [5.6]: Three (3)</p> <p>Architectural Report: 2306 - Oudebosch Cabins - Maintenance and Additional Works</p> <p>Bill of Quantities</p> <p>Environmental Management Plan</p>
<p>B5.0</p> <p>[6.0]</p>	<p><b>Employer's Agents:</b></p> <p>Authority is delegated to the Project Manager to issue contract instructions and perform duties for specific aspects of the works.</p>

	Project Manager and other agent declares no interest or involvement in the works other than a professional interest.
B6.0 [10.1.1]	<b>Insurances:</b> Contract works insurance to be effected by the <b>contractor</b> <input checked="" type="checkbox"/> To the minimum value of the <b>contract sum</b> plus 10%
[10.1.2]	Supplementary insurance is required: <b>Yes</b> To the minimum value of the <b>contract sum</b> plus 10 %
[10.1.3]	Public liability insurance to be effected by the <b>contractor</b> <input checked="" type="checkbox"/> For the sum of R 5 million
[10.1.4]	Support insurance to be effected by the <b>contractor</b> To the minimum value of the <b>contract sum</b> plus 10 %
B7.0 [12.1]	<b>Obligations of the employer</b> The existing premises will be occupied and the nature reserve and all its personnel will operate as usual. The accommodation will not be open for visitors during the contract period. Refer to <b>EMP: ANNEXURE B.</b> <b>No free issue will be supplied.</b>
B8.0	No nominated sub-contractors
B9.0	No direct contractors
B10.0	No sections
B11.0 [12.2] [19.3] [12.2.7; 24.1]	<b>Possession of site, Practical Completion and Penalties</b> Possession of the site is to be given within fifteen (15) <b>working days</b> of the <b>contractor</b> providing the <b>employer</b> with the documents as required in terms of 12.2 Period for inspection by Project Manager is ten (10) working days. Date for practical completion shall be three months from the contract commencement date) and the penalty per calendar day will be <b>R2000,00</b>
B12.0 [25.0]	<b>Payment</b> Date of the month for issue of regular payment certificate will be confirmed at the site handover meeting. No cost fluctuations.
B13.0 [30.0]	<b>Dispute resolution</b> The nominating body for Adjudication and Arbitration is the Association of Arbitrators RSA
B14.0	<b>Preliminaries</b>



<b>E</b>	<b>FORM OF TENDER</b>
<b>E1.0</b>	<b>Tenderer's details</b> Name: Legal entity of above: Business registration number: VAT/GST number Country: Contact person: Telephone number: Mobile number: E-mail: Postal address: Physical address:

**WESTERN CAPE NATURE CONSERVATION BOARD**  
**MAINTENANCE AND ADDITIONAL WORKS TO OUDEBOSCH CABINS AT**  
**KOGELBERG NATURE RESERVE**

**CONTRACT NO: WCNCB 07/10/2023**

<b>C1.3 : FORM OF GUARANTEE (PRO FORMA)</b>
---

Refer to **ANNEXURE A**: JBCC Guarantee for Construction for use with JBCC PBA edition 6.2 May 2018.

**WESTERN CAPE NATURE CONSERVATION BOARD**  
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<b>C1.4 : OCCUPATIONAL HEALTH AND SAFETY ACT AGREEMENT</b>
--

**W R I T T E N   A G R E E M E N T**

**THIS IS IN TERMS OF SECTION 37(2) OF THE**  
**OCCUPATIONAL HEALTH AND SAFETY ACT, 1993 (ACT 85 OF 1993)**

**BETWEEN**

**WESTERN CAPE NATURE CONSERVATION BOARD**

(Employer)

**AND:**

..... (Mandatory)

## INTRODUCTION

The Occupational Health and Safety (Act, 1993) stipulates that the Chief Executive Officer is primarily responsible or liable for the health and safety of all his/her employees. This is embedded in Section 16(1) of the said Act. This responsibility or liability is also extended to include a mandatory that performs work on behalf of the employer on his/her premises.

A “mandatory” is defined in the said Act as: - “Including an agent, contractor or subcontractor for work, but without derogating from his status in his own right as an employer or user”

In terms of Section 37(2), read with Section 41, of the said Act, it is legally possible for an employer to indemnify himself from this responsibility or liability regarding the actions of the mandatory. Section 37(2) stipulates that there should be a written agreement in place between the employer and the mandatory regarding the arrangements and procedures between them to ensure compliance by the mandatory with the provisions of the Occupational Health and Safety Act, 1993.

By ensuring that there is a written agreement in place, the Management

Of .....

Is acting in a responsible manner, so as to ensure that this requirement is indeed being met?

In order to ensure that this written agreement is honoured at all times, regular inspections of work that is performed will be conducted and if found not complying with the said agreement, a notice of non-compliance will be issued. All work will be stopped and reasons for non-compliance must be given and what corrective action will be taken to rectify the situation must be stipulated.

Management: .....

# WRITTEN AGREEMENT

This is a written agreement between the (employment):

Name of EMPLOYER **WESTERN CAPE NATURE CONSERVATION BOARD**

And the (Mandatory):

Name of the MANDATARY .....

In terms Section 37(2) of the Occupational Health and Safety Act, 1993 (Act 85 of 1993) as amended.

I ..... Representing the MANDATARY do hereby

Acknowledge that .....(mandatory) is an employer in its own right  
with duties as prescribed in the Occupational Health and Safety Act, 1993 (Act 82 of 1993)

as amended and agree to ensure that all work that will be performed, any article or substance that will be produced, processed, used, handled, stored or transported and plant and machinery that will be used, will be done in accordance with the provision of the said Act.

I furthermore agree to comply with the Health and Safety requirements and to liaise with the employer should I, for whatever reason, be unable to perform in terms of this Agreement.

Signed on this ..... day of ..... 2017 at .....

Signature .....

On behalf of MANDATARY.....

Signature .....

On behalf of the EMPLOYER

**WESTERN CAPE NATURE CONSERVATION BOARD**  
**MAINTENANCE AND ADDITIONAL WORKS TO OUDEBOSCH CABINS AT**  
**KOGELBERG NATURE RESERVE**

**CONTRACT NO: WCNCB 07/10/2023**

<b>C1.5 : ENVIRONMENTAL MANAGEMENT PLAN</b>
---

Refer to **Annexure B** to be completed and signed: This is a nature reserve and conservation area and the terms of the Environmental Management Plan (EMP) needs to be strictly adhered to at all times.

**WESTERN CAPE NATURE CONSERVATION BOARD**  
**MAINTENANCE AND ADDITIONAL WORKS TO OUDEBOSCH CABINS AT**  
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**CONTRACT NO: WCNCB 07/10/2023**

<b>PART C2 : PRICING DATA</b>
-------------------------------

**C2.1      Pricing Instructions**

**C2.2      Bills of Quantities**

**WESTERN CAPE NATURE CONSERVATION BOARD**  
**MAINTENANCE AND ADDITIONAL WORKS TO OUDEBOSCH CABINS AT**  
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<b>C2.1 : PRICING INSTRUCTIONS</b>
------------------------------------

**PREAMBLE TO THE BILLS OF QUANTITIES**

**1. Tender Documentation**

The Tenderer shall check that the page numbers correspond to the contents page and should any be missing or duplicated, or if any doubt exists as to the full intent and meaning of any description, or this document contains any obvious errors, the Tenderer shall notify the Quantity Surveyor at once for rectification. No liability whatsoever will be admitted in respect of errors in any tender due to the abovementioned causes.

All queries must be addressed to the Quantity Surveyor in writing at least five days prior to tender closing.

**2. Inspection of Site and Drawings**

It is a condition that the Tenderer shall have carried out a full and detailed inspection of the site, all Consultant's drawings and all tender documents as listed in the contents page of this tender document, prior to the submission of tenders. By such an inspection the Tenderer shall be deemed to be fully informed as to the nature and degree of complexity of the project, the constructional problems related thereto, the conditions under which the work is to be carried out, the means of access to the site and generally of all matters which may influence his tender. No claim whatsoever will be considered after the submission of tenders, due to the failure on the part of the Tenderer to fulfil his obligation.

**3. Drawings Issued With Bills of Quantities**

The drawings as listed under C3.2.1 of this document are issued with and form part of these Bills of Quantities)

In order to obviate lengthy descriptions, references have been made in certain items in the Bills of Quantities to particular drawings by the drawing number. In these cases the respective drawings shall be taken and read together with the particular bill items concerned and the rates and prices shall include for providing all labour, materials, equipment, services and for performing all operations required for the complete installation of the items described and shown on the drawings.

The insertion of particular drawing references in the bills shall in no way relieve the Tenderer of his responsibility to study all drawings.

4. **Model Preambles for Trades**

Except where otherwise stated, these Bills of Quantities have been prepared in accordance with the Model Preambles for Trades (2008 Edition) as recommended and published by the Association of South African Quantity Surveyors. Tenderers are advised to study the Model Preambles before pricing these bills.

5. **Method of Measurement**

Based on Architect's report descriptions which must be read in conjunction with photos and site inspection information.

**WESTERN CAPE NATURE CONSERVATION BOARD**  
**MAINTENANCE AND ADDITIONAL WORKS TO OUDEBOSCH CABINS AT**  
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<b>C2.2 : BILLS OF QUANTITIES</b>
-----------------------------------

Refer to **Annexure C** for complete bills of quantities.

**WESTERN CAPE NATURE CONSERVATION BOARD**  
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**TENDER SUM COMPILATION (from Final Summary)**

Tender's work excluding tax R .....

Value Added Tax at 15% R .....

**Total TENDER SUM inclusive of tax** R .....

Tender sum in words

--

I/We, the undersigned, do hereby declare that these are the properly priced Bills of Quantities forming part of this Contract Document containing Pages in consecutive order upon which my/our Tender for WCNCB 07/10/2023: **MAINTENANCE AND ADDITIONAL WORKS TO OUDEBOSCH CABINS AT KOGELBERG NATURE RESERVE** has been based.

**SIGNED ON BEHALF OF TENDERER:** .....

**WESTERN CAPE NATURE CONSERVATION BOARD**  
**MAINTENANCE AND ADDITIONAL WORKS TO OUDEBOSCH CABINS AT**  
**KOGELBERG NATURE RESERVE**

**CONTRACT NO: WCNCB 07/10/2023**

<b>PART C3 : SCOPE OF WORKS</b>
---------------------------------

- C3.1      Description of the Works**
- C3.2      Architecture**
- C3.3      Procurement**
- C3.4      Construction**

**WESTERN CAPE NATURE CONSERVATION BOARD**  
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<b>C3.1 : DESCRIPTION OF THE WORKS</b>
--

**C3.1.1 EMPLOYER'S OBJECTIVES**

The project has been initiated by the employer for maintenance and additional works to the existing facilities.

**C3.1.2 OVERVIEW OF THE WORKS**

This project comprises of 6 x cabins, a parking structure, walkway, boardwalk and a water reservoir which will receive maintenance and additional works as per scope provided by the Client.

**C3.1.3 LOCATION OF WORKS**

The site is situated in the Kogelberg Nature Reserve near Betty's Bay, located within the local Overberg Municipality.

**C3.1.4 START UP AND MANAGEMENT**

**C3.1.4.1 Meetings**

Formal combined progress and technical meetings will be held every fortnight, is to be attended by the contractor & project manager.

**C3.1.4.2 Workshops and training**

All workers must receive a Health & Safety and an environmental induction at the project outset.

**C3.1.4.3 Communication**

All communication must be routed via the *Project Manager*.

**C3.1.4.4 Programming constraints**

The following items should be clearly indicated in the contractor's programme:

- weather float
- public holidays,
- builder's holidays
- time for preparation of shop drawings and design elements where required
- snagging

**C3.1.4.5 Quality assurance requirements.**

The Contractor must implement / provide the following to insure quality standards are achieved on site on an ongoing basis:

- Visual inspections – weekly or as required
- Quantifiable quality checks (eg. concrete testing, timber grading, timber moisture content) – as required (results of testing to be given to relevant parties)
- All specialist trades to be implemented by qualified individuals from accredited institutions
- Proof of CCA H3 treatment to all exposed pine timbers
- All relevant compliance certificates to be issued upon completion (plumbing, electrical, structural etc.)

### **C3.1.5 CONTRACTUAL**

#### **C3.1.5.1 Contractor's supervision and key people**

The Contractor's key people are as described in **Schedule 3B: Curriculum Vitae of Key Personnel** of this document.

Site representative:

The *Contractor* keeps a site representative competent to administer and control the *works* continuously in the Working Areas during the execution of the *works*. The *Contractor* informs the Project Manager of the name of the site representative, and any instruction given to the site representative by the *Architect* is deemed to be given to the *Contractor*.

Quantity Surveyor/ Financial administrator:

The *Contractor* must have a competent person to administer the payment applications, variation order pricing and procurement of subcontractors.

#### **C3.1.5.2 Contract change management control system**

The *Project Manager* will record site instructions in the site instruction book which must be kept on site at all times.

*Works* instructions will also be issued by the *Project Manager* in writing via email.

#### **C3.1.5.3 Accounts and records**

The *Contractor's* invoice:

The *Contractor* submits his valid tax invoice within one week after receiving a payment certificate from the *Project Manager* in terms of clause 25.0. Where the *Contractor* does not submit the tax invoices within the time required, the period within which payment is made in terms of clause 25.10 and the time allowed are extended by the length of time from the date when the *Contractor* should have submitted his valid tax invoice to the date when he does submit it.

Final account and final payment

The *Contractor* cooperates with the *Project Manager* in the preparation of the final account by timeously supplying all relevant documents on request, upon completion of the whole of the *works* according to the procedure set out in clause 26.0.

#### **C3.1.5.4 Bonds and guarantees**

The *Contractor* must refer to the pro-forma guarantee included in this document and it is a requirement that the bond must be in place within four weeks of the Contract Date.

### **C3.1.6 DESIGN**

#### **C3.1.6.1 Design services activity matrix**

If additional detailing and design work is required from the Project Manager, the *Contractor* is to communicate what information is required and when it is required by as per the contractors *works* programme. There must be sufficient lead time for the detailing and specifications to take place. The Project Manager will provide requested information in a reasonable time frame so as to minimise delays.

#### **1.6.2 The Employer's design, and who by**

All works to be designed by, or in consultation with, Project Manager unless otherwise stated.

#### **1.6.3 Parts of the works which the Contractor is to design**

The *Contractor* will be responsible for the design of the following elements of the *Works*.

- Timber structure and connections by competent person, based on Project Managers construction documentation – Structural certification to be provided
- Plumbing installation and reticulation – Plumbing C.O.C. to be provided

- Lighting, geyser and electrical installation – Electrical C.O.C. to be provided

In terms of the above items, the *Contractor* will be responsible for submitting these design elements to the *Project Manager* timeously to allow sufficient time for the design approval process. This should be specifically included in the *works* Programme. Once approved by *Project Manager*, the *Contractor* can commence work and will be held responsible for any changes to the approved design.

#### **C3.1.6.4 Operating manuals and maintenance schedules**

The following should be handed over upon Completion:

- Maintenance manuals for canvas items.
- All product warranties.

### **C3.1.7 PROCUREMENT**

#### **C3.1.7.1 People and Employment**

The *Contractor* should consider employing resources from the local community where possible and insure that labour is adequately skilled in the areas of employment.

#### **C3.1.7.2 Plant and Materials**

The *Contractor* is responsible for the timeous ordering of all materials required in the Completion of the *works*, to fit in with the programme requirements. Materials must be stored safely on site and protected from the elements where necessary. The *Contractor* will be liable for replacement of any material that is damaged prior to installation.

#### **C3.1.7.3 Off-site testing and inspection**

Off-site testing and inspection may be required by the *Project Manager* as part of the quality assurance process, please refer to clause C3.1.4.5 above.

#### **C3.1.7.4 Marking of Plant and Materials**

Where materials are manufactured off site and payment is made to the *Contractor* in this regard, such items must be clearly marked for this contract and title will pass to the *Employer*.

#### **C3.1.7.5 Sub-contracting arrangements**

Subcontractors are to be appointed as Selected sub-contractors and will be subject to the same rules and regulations as the main contractor and names of proposed subcontractors must be provided for acceptance by the *Project Manager*.

### **C3.1.8 CONSTRUCTION**

#### **C3.1.8.1 Temporary works, Site services and construction constraints**

- C3.1.8.1.1 Environmental controls, fauna & flora, dealing with objects of historical interest must be dealt with in accordance with the Employer's requirements and instructions.

*Employer's* direct contractors:

The *Employer* may instruct work to be executed and installed in the *works* by one or more direct contractors, with the understanding that

- The *Contractor* permits all such work by direct contractors;
- The type and extent of such work is described in the tender document, and the *Contractor* makes reasonable provision in his work programme for such work;
- The payment of direct contractors is the responsibility of the *Employer*;
- A direct contractor is subject to reasonable controls as required by the *Contractor*, and

- all direct contractors, the work or installations undertaken, insurances related thereto and the associated risks including expense or loss caused by direct contractors, are the direct responsibility of the *Employer*.

- C3.1.8.1.2 Site services and facilities: power, water, waste disposal, telecoms, ablutions, fire protection, lighting:  
Power is available on site. It will have to be metered and reimbursed to the client.  
Power is for the expense of the contractor.  
Telecoms are not available on site. Cellular signal may be available; perhaps a booster may be required. This is for the contractors own account.  
The contractor must supply his own ablutions, portable toilets that must be serviced regularly and kept clean and tidy.  
Fire protection must be in line with the Environmental Management Plan. No fires are allowed on site.  
Lighting must be kept to a minimum. No light permitted during evenings on site except by special arrangement with client Cape Nature.
- C3.1.8.1.3 Advertising, notice boards, photography and progress photographs.  
A notice board may be erected in agreement with and approved by Cape Nature. Progress photographs must be supplied to the Architect on request.
- C3.1.8.1.4 Vehicles:  
All construction vehicles should be at all times parked within the confines of the demarcated site.
- C3.1.8.1.5 Setting out and boundary control:  
Site must be clearly set out and activity limited to site extents at all times.  
Effort must be made to minimise impact of building work.  
Work to be set-out in relation to surveyor's bench-marks on site. Survey is available on request. Detailed dimensions from benchmarks is available on request if required by contractor.
- C3.1.8.1.6 Control of noise, dust, water and waste:  
Care be taken to limit noise to the minimum wherever possible, within reasonable limits as per Health and Safety regulations. Waste must be kept to a minimum and site to be kept neat at all times.
- C3.1.8.1.7 Giving notice of work to be covered up:  
Works can only be covered up after relevant inspections by the Project Manager and competent person involved in the design of such works.

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<b>C3.2 : ARCHITECTURE</b>
----------------------------

**C3.2.1     DRAWINGS**

The *works* are to be executed in accordance with the following design drawings, schematic representations and annexures which form part of this contract. The list below indicates which items are included in the Appendix to this document as **Annexure D**, and which are issued separately due to size or other considerations. It is the responsibility of tenderers to ensure they have obtained and considered all the listed items for preparing their bid, which is the assumption when tenders are evaluated.

<b>Drawing No.</b>	<b>Title</b>
Annexure D	Architectural Report: 2306 - Oudebosch Cabins - Maintenance and Additional Work
AD110-300	Cabin 1 plan
AD110-301	Cabin 1 elevations
AD110-302	Cabin 1 sections
AD110-303	Cabin 1 plan
AD110-304	Cabin 2 elevations
AD110-305	Cabin 2 sections
AD110-306	Cabin 3 plan
AD110-307	Cabin 3 elevations
AD110-308	Cabin 3 sections
AD110-309	Cabin 4 plan
AD110-310	Cabin 4 elevations
AD110-311	Cabin 4 sections
AD110-312	Cabin 5 plan
AD110-313	Cabin 5 elevations
AD110-314	Cabin 5 sections
AD110-315	Gathering Space floor plan
AD110-316	Gathering Space elevations

AD110-317	Gathering Space elevations and sections
AD110-318	Gathering Space sections
AD110-660	Bathroom plan
AD110-661	Bathroom sections
AD110-670	Kitchen Cabinetry Plans
AD110-671	Kitchen Cabinetry Isometric
AD110-672	Kitchen Cabinetry Sections and Elevations
SC004	Finishes Schedule
SC005	Colour Schedule

**WESTERN CAPE NATURE CONSERVATION BOARD**  
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<b>C3.3 : PROCUREMENT</b>
---------------------------

**C3.3.1      PREFERENTIAL PROCUREMENT PROCEDURES**

**C3.3.1.1    Requirements**

Schedule 1M in the Returnable Documents section has to be completed by all tenderers. All proof has to be handed in together with the completed tender.

Tenderers who do not include proof will be redeemed no points for that section.

## WESTERN CAPE NATURE CONSERVATION BOARD

### MAINTENANCE AND ADDITIONAL WORKS TO OUDEBOSCH CABINS AT KOGELBERG NATURE RESERVE

CONTRACT NO: WCNCB 07/10/2023

#### C3.4 : CONSTRUCTION

##### C3.4.1 SPECIFICATIONS, STANDARDS & WORKMANSHIP

The *works* are to be executed subject to these specifications, standards and workmanship requirements. Please note that compliance with all these specifications and standards, including requirements in terms of qualifications, accreditation (where applicable) and work experience of both the tendering entity and its key people will be material in the *Employer's* risk assessment for awarding this contract.

All of the works are to be in accordance with the applicable SANS regulations. Installation or use of all materials are to be in accordance with the manufacturer's specifications and industry best practice guidelines.

##### Standard Specifications

Where reference is made to the standard specifications in this contract, it means the latest edition of the documents which apply to the specific discipline involved in the *works*, as referenced under any of the headings below. The standard specifications may, due to their generality and completeness, also cover items not applicable to this particular contract.

##### Project specifications

Project specifications include amendments to the standard specifications as well as supplemental specifications applicable to work items not covered by the standard specifications. Project specifications, where applicable, may be found throughout the Works Information of this document, including *works* drawings. The *activity schedule* may also contain references to standard specifications as well as project specifications, for clarification in terms of pricing for certain items, where applicable. In the event of any discrepancy between the project specifications and a part of the standard specifications found in the Works Information of this document, the project specifications take precedence.

##### Accreditation, qualifications and work experience

Minimum requirements for work experience, qualifications and accreditation (where applicable) as well as minimum personnel are as stated under the headings below. The tenderer must supply the relevant information in regard to accreditations, qualifications and work experience for both the enterprise and key people who will be working on this contract on the appropriate returnable schedule in the Works Information.

##### C3.4.1.1 Building trade preambles

- C3.4.1.1.1 Standard specifications and preambles  
Refer to the Model Preambles (2008 Edition).
- C3.4.1.1.2 Project specifications (if any)  
All specifications contained within the drawings in the Appendix are applicable here.

##### C3.4.1.2 Civil works, roads and structural specifications

- C3.4.1.2.1 Standard specifications and preambles

**WESTERN CAPE NATURE CONSERVATION BOARD**  
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<b>PART C4 : SITE INFORMATION</b>
-----------------------------------

**C4.1      Scope**

**C4.2      Subsoil Investigations, Borehole Records and Test results**

**WESTERN CAPE NATURE CONSERVATION BOARD**  
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<b>C4: SITE INFORMATION</b>
-----------------------------

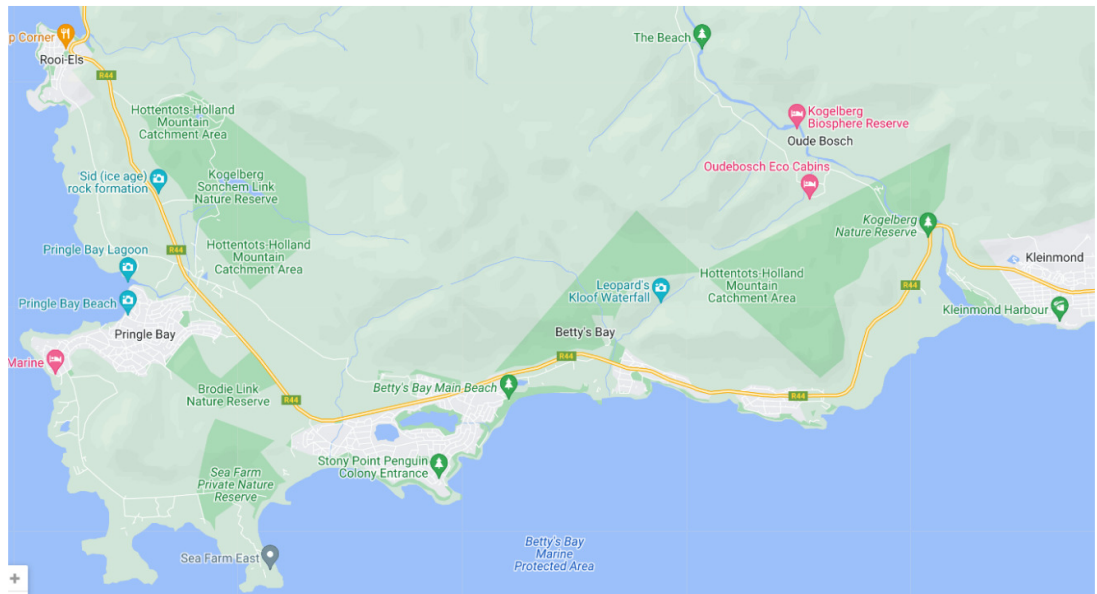
**C4.1 SCOPE**

The documentation included in this section describes the site as at the time of tender to enable the tenderer to price his tender and to decide upon his method of working and programming.

Only actual information about physical conditions on the site and its surroundings has been included in this section and interpretation is a matter for the tenderers.

**C4.2 SUBSOIL INVESTIGATIONS, BOREHOLE RECORDS AND TEST RESULTS**

No Geotechnical information available

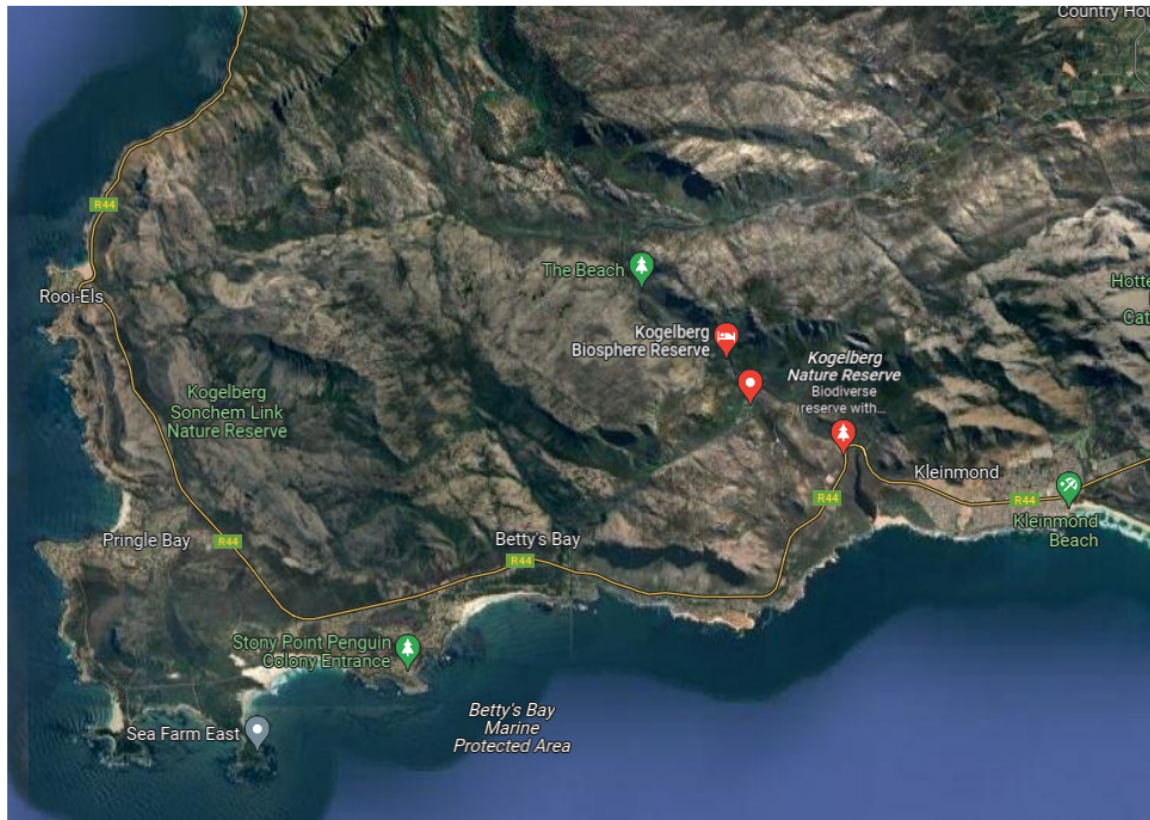


**C4.3 SITE LOCATION PLAN**

**WESTERN CAPE NATURE CONSERVATION BOARD: LOCALITY PLAN**

**CONTRACT No. WCNCB 07/10/2023**

**MAINTENANCE AND ADDITIONAL WORKS TO OUDEBOSCH CABINS AT KOGELBERG NATURE RESERVE**



**LOCALITY PLAN**

Co-ordinates: 34°19'21.0"S 18°57'58.2"E

<https://goo.gl/maps/M6SR1rjNcE8crz7D8>

**KOGELBERG NATURE RESERVE**

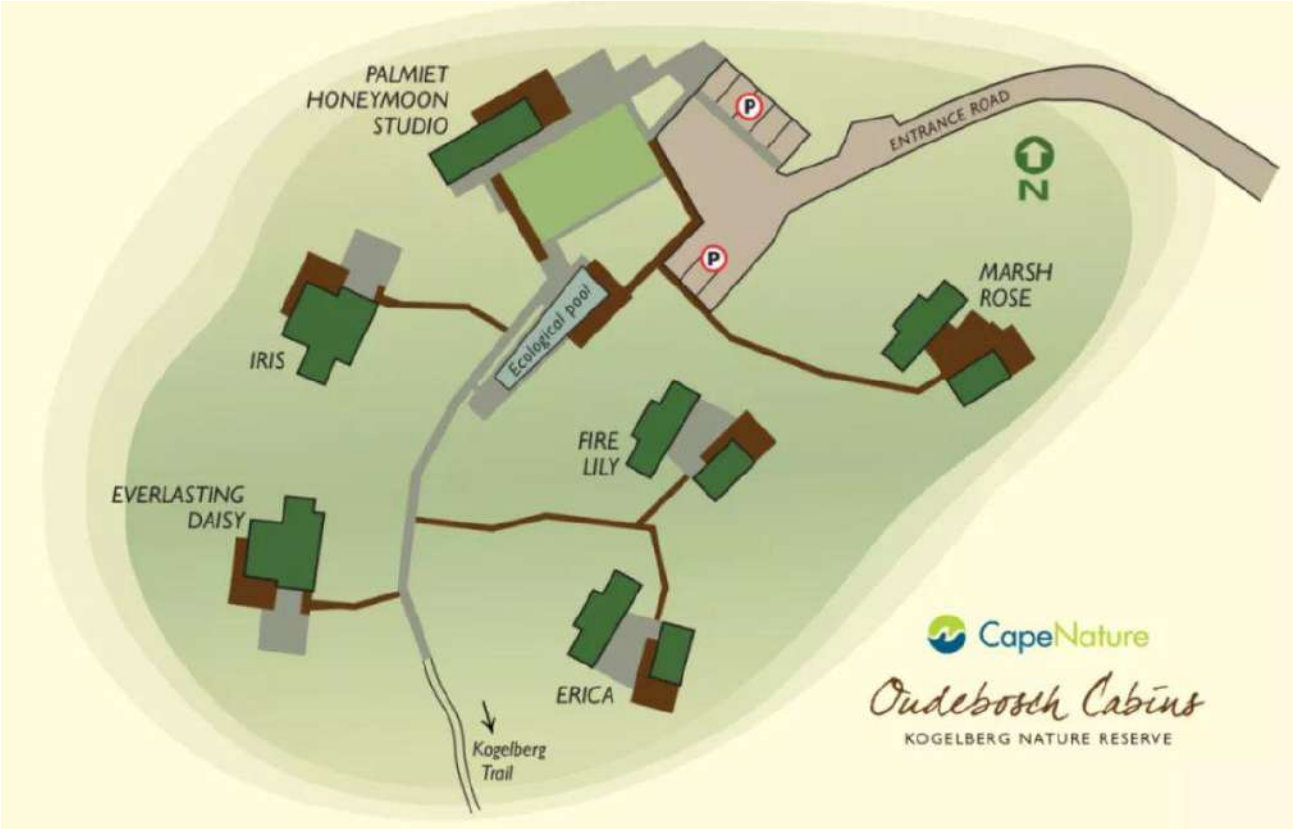
**OUDEBOSCH CABINS**

**MAINTENANCE AND ADDITIONAL WORKS**

REVISION: DRAFT FOR COMMENT  
DATE: 2023-05-30



SITE PLAN FOR REFERENCE



MAINTENANCE REQUIRED (M)
ADDITIONAL WORKS (A)
OPTIONAL (O)

ALL ANNEXURES TO BE ACCESSED FROM THIS LINK:

tbc

## GENERAL MAINTENANCE NOTES:

### To be carried out annually

- All fixings, screws etc. are to be from stainless steel or a non-ferrous metal.
- Ensure all fixings are the correct size and of the same type – i.e. all Philips, or Robertson, or Flat-head.
- Service all taps & faucets – replace washers as needed, make good all rusting components.
- Remove old sealant and reseal around WC pans with a polyurethane flexible sealant as per - Sikaflex 11FC (white): x11 pans.
  - X2 Marsh Rose
  - X2 Fire Lily
  - X2 Erica
  - X2 Everlasting Daisy
  - X2 Iris
  - X1 Palmiet Honeymoon Studio





NB: When sealing always use a damp cloth to make neat/finish – do not use a finger






- Ensure ALL light fixtures contain LED bulbs of 3000K colour temperature.
- Service fenestration, ensure seals and hinge covers are in place and movement mechanisms are in working order.
- Clean gutters regularly – build-up of plant debris etc. is a fire hazard and can cause moisture damage/leaking to the spaces below including degradation of timber.
- Check soffits and eaves for water/moisture damage.
- Replace broken and damaged exterior light sensors.
- Regularly check walkway lighting is operable.
- Check conditions of all exterior timber for moisture damage
- Check condition of all interior ceilings for moisture damage and mould (bathrooms)

## GENERAL ITEMS




ITEM	DESCRIPTION/PHOTO	CORRECTION METHODOLOGY
A1	REMOVE UNUSED GEYSERS	X6 CABINS
		<p>Remove unused geysers from service storage units of all cabins.</p> <p>Make good and remove all wiring/electrical/plumbing components not in use.</p>
A2	CONNECT GEYSERS TO SOLAR PANELS	X6 CABINS
		<p>Connect and make good all solar geysers to corresponding solar panels.</p> <p>Ensure solar panels are in working order and are well within their respective service life.</p> <p>Ensure timber panels are removeable – utilise wingnuts to fasten.</p> <p><b>SPECIFICATIONS AND INSTALLATION METHODOLOGY TO BE PROVIDED BY 3 SPECIALIST SUB CONTRACTORS.</b></p>
A3	LIGHTING FIXTURES	IMPORTANT
		<p>Ensure ALL light fittings contain corresponding LED bulbs of <b>3000 K</b>. All bulbs are to remain as such when requiring replacement.</p>

A4	HINGE COVER CAPS	X5 total doors (x1 p/cabin excl. Honeymoon)
	 	<p>Replace missing hinge cover caps for folding stacking doors.</p> 
A5	REMOVE EXTERNAL FLOODLIGHTS AND RELATED CONDUITS/WIRING	X6
	  	<p>Remove floodlights overlooking braai area from each cabin.</p> <p>Remove all external conduits from walls. Repair and fill resulting holes. Paint to match existing – full coats on wall with required undercoat.</p> <p>Remove light switch for floodlight. Close cavity and make good all surrounding surfaces.</p>
A6	REPLACE LIGHT FIXTURES	X8 (x1 p/cabin, x3p/honeymoon studio)
	 	<p>Replace cabin light fixtures adjacent bathroom with Spazio 'Alcor Round 1L' 4531.4.30. Ensure LED bulb is of 3000 K.</p> 



A7	REPLACE LED STRIP LIGHTS	X11 (x2 p/cabin, x1 p/honeymoon)
		<p>Replace LED strips in bathrooms to ensure they run the full length of their respective walls. Approx. lengths of 3500mm &amp; 2400mm p/wall respectively.</p> <p>Replace LED driver with discrete model to conceal behind 'perimeter pelmet'.</p> <p>Ensure colour temp. of 3000K</p>
A8	REPLACE SHOWER ROSES	X10 (excl. Honeymoon)
		<p>Replace all existing shower roses with the COBRA 'Zambezi Round Single Function Shower' <i>FSWHR1BN-0GT0156</i>.</p> <p>Additional components req. COBRA 'Zambezi Shower Arm 331mm' <i>FSACA2GN-0GT0150</i>.</p>  <p><b>NB: Centre new shower rose arm to NEW replacement timber panel (sealed to match current panel to be replaced).</b></p>
A9	SHOWER DUCKBOARD DECKING	X11
		<p>Reconstruct shower decking and glass enclosures as per drawing <b>Annexure xx</b>:</p> <ol style="list-style-type: none"> <li>1. Decks sand down and sealed with penetrating oil</li> <li>2. Shower trays and drains to be cleaned thoroughly, make good any water damage</li> <li>3. Ensure that the decks can be lifted for cleaning purposes</li> </ol>

M1	FIREPLACE MAINTENANCE	CRITICAL – X6
	 	<p>All fireplaces and chimneys to be fully serviced, including the following:</p> <p>NB: Make good all rust and material degradation</p> <ul style="list-style-type: none"> <li>• Fireplaces, steel plinth and backplate to be sanded and prepped for paint, and resprayed with heat resistant black paint as per fireplace manufacturer's recommendation and spec.</li> <li>• Flues to be sanded and prepped for paint, and resprayed with heat resistant black paint as per fireplace manufacturer's recommendation and spec.</li> <li>• Make good internal workings and finishes of fireplace incl. grate.</li> <li>• Service door hinges and closure mechanisms</li> <li>• Flues to be cleared and cleaned to ensure good draw</li> <li>• Spark arrestors to be checked to ensure that they are all still operational</li> </ul>
M2	FLOOR DAMAGE AT FIRE PLACES	X6 instances (1 p/cabin)
	  	<p>Make good ember damage to timber floors adjacent fireplaces.</p> <p>Sand down to raw timber, repair water damage, make good ember damage at fireplace, reseal timberwork as per <b>Annexure xx</b>.</p> <p>Approx. area impacted = <math>\pm 1.5\text{m}^2</math> p/cabin</p>




M3	BRAAI PLACE MAINTENANCE	X6
		<p>All braai places to be fully serviced, including the following:</p> <p>NB: Make good all rust and material degradation</p> <ul style="list-style-type: none"> <li>Braais are to be sanded and prepped for paint, and resprayed with heat resistant black paint as per braai manufacturer's recommendation and spec.</li> <li>Flues to be sanded and prepped for paint, and resprayed with heat resistant black paint as per braai manufacturer's recommendation and spec.</li> <li>Make good internal workings and finishes incl. grate and grids – replace where needed.</li> <li>Service door panel hinges and closure mechanisms</li> </ul>
M4	BRAAI FLUES & COWLS	X6
		<p>All flues &amp; cowls to be fully serviced, including the following:</p> <p>NB: Make good all rust and material degradation</p> <ul style="list-style-type: none"> <li>Metalwork to be sanded and prepped for paint, and resprayed with black paint as per braai manufacturer's recommendation and spec.</li> <li>Flues to be cleared and cleaned to ensure good draw</li> <li>Spark arrestors to be checked to ensure that they are all still operational</li> </ul>

M5	WC PAN-FLOOR JUNCTION SEAL	X11
		<p>Clean out gap between timber &amp; wc pan base. Reseal with polyurethane flexible sealant as per Sikaflex 11FC (white).</p>
M6	MIRROR FRAME SEAL	X11
		<p>Clean out gap between timber and tiling. Reseal with polyurethane flexible sealant as per Sikaflex 11FC (white).</p>
M7	FIRE EQUIPMENT SERVICING	X6 Cabins, critical
		<p>Service and ensure all hose reels and related mechanisms are in working order. Service all fire extinguishers.</p> <p><b>NB: The current level of vegetation and dry debris around the cabins are a fire hazard in the event of a wildfire.</b></p>



M8	SERVICE ECO-LOO	X11 (x6 Cabins)
		<p>Service eco-loos. Make replace and make good all rusted components as per manufacturer's spec.</p> <p>Remove plant growth.</p> <p>Ensure no leaks are present within.</p> <p>Make good rust on vent piping and extractor fans.</p> <p>Ensure extractor fans are in working order.</p>
M9	BURY EXPOSED SERVICES	X6 Cabins, Pool Area, & Walkways
		<p>All exposed and surfaced conduiting, plumbing pipes and other service related wiring to be made compliant with relevant installation regulations.</p> <p>Make good, bury to depth as per regulations.</p> <p>Each cabin and area varies p/instance from <math>\pm 1\text{m}</math> to <math>\pm 7\text{m}+</math>. Quantify on site.</p>
M10	REPAIR LEAKING WASTE OUTLETS	X2 Cabins – quantify on site
		<p>Ensure all plumbing &amp; waste outlets etc. are draining to mulch basins. Mend all leaks and replace broken connections.</p> <p>NB: Noticed at Marsh Rose and Erica, more cabins may be inadvertently impacted by this type of issue.</p> <p><math>\pm 1\text{m}</math> p/instance</p>




01	ROLLER BLINDS	X6 Cabins – calculate on site m <sup>2</sup> and no. of
	 	<p>All roller blinds and housings are either in the process of or have begun to show signs of wear-and-tear and will need to be replaced in the near future. Corners are delaminating and cracking is occurring in parts of the plastic coating.</p> <p>We therefore propose that at this stage each cabin gets replacement roller blinds with a fabric – not block out but rather ‘dim out’ allowing some light in – colour unique to each cabin. Or, reinstitute roman blinds with durable nylon cords and steel dowels instead of wood.</p>



## SWIMMING POOL




ITEM	DESCRIPTION/PHOTO	CORRECTION METHODOLOGY
M11	SEATING PLATFORMS	X2
		<p>Sand down and make good. Fasten framework where loose and replace corroded fixings (stainless steel equivalent).</p> <p>Seal as per finishing schedule <b>Annexure XX</b>. Approx. 3m² total.</p>
M12	REPLACE SWIMMING POOL GATE SPRINGS	X1
		<p>Replace self-closing gate spring. Ensure spec. is min. 304 stainless steel.</p>
M13	REPLACE AUTOMATIC GATE LATCH	X1
		<p>Replace automatic gate latch. Ensure spec. is min. 304 stainless steel.</p>

M14	GATE REPAIRS	X1
		<p>Replace broken &amp; split latte. Make good loose latte slats.</p> <p>Gate stiles, rails, and brace make good. Framework make secure. Replace timber if required.</p> <p>Hinges, make good, sand down rust, replace washers.</p> <p>Replace galv. screws w' stainless steel.</p> <p>Approx. size = 1.3m X 1.2mm</p>
M15	LATTE FENCING ENCLOSURE	Quantify on site
		<p>Replace splitting latte members, make good &amp; repair latte supports. Make good timber closure beading.</p> <p>Replace missing latte members.</p> <p>Approx. 5 instances impacted.</p>


M16	POOL ENCLOSURE POSTS & BALUSTRADING	Quantify on site
		<p>Replace broken posts (at least x1 instance) and make good/secure, ensure all posts are plumb and balustrading member is level.</p> <p>Approx. dims – 114x114 1300mm corner posts, 114x38 intermediary posts, 38x114 3500mm timber railings. <u>Confirm on site.</u></p>
M17	TIGHTEN CABLES	ALL – APPROX. X30 individual cables
		<p>Tighten all balustrade cables to same tension. Ensure all turnbuckle fasteners are in good working order.</p>





M18	POOL LADDER	X1
		Make good all corrosion, clean scale off steps & fixing brackets.
M19	REPLACE POLYCARBONATE SHEETING	X2
	 	Replace and make good polycarbonate sheeting within pool pump store. Ensure fall is in place for 'ceiling' sheet to allow for water runoff towards gabion at back.




M20	SERVICE POOL FILTER	X1
		<p>Service pool pump, replace damaged seals.</p>
M21	SERVICE PUMP	X1, CRITICAL
		<p>Service HONDA GX160.</p> <p>Secure base pavers.</p> <p>Ensure all components are in working order, seals are in good condition, suction hose is clear, debris filter is in place, and one-way valve is operable.</p> <p>Ensure branches and 25mm lay-flat forestry hose lengths are undamaged.</p>





M22	SERVICE ACCESS PANELS	X1
		<p>Make good pool service area removeable panels/doors. Replace rotting and split timber members.</p> <p>Secure latte.</p> <p>Replace split, missing, and damaged latte.</p> <p>Approx. dims. p/panel (x3 total) – 1200x1300</p>
M23	SERVICE AREA COVER STRIPS	X1
		<p>Replace splitting timber – approx. 22x70 @ 1300mm.</p>
M24	BURY SERVICE PIPES & CONDUITING AT POOL	Quantify on site : ±3m
		<p>As per point M9, all exposed and surfaced conduiting, plumbing pipes and other service related wiring to be made compliant with relevant installation regulations.</p> <p>Make good, bury to depth as per corresponding regulations.</p>




**CABIN 5 – ‘Marsh Rose’**

ITEM	DESCRIPTION/PHOTO	CORRECTION METHODOLOGY
A10	REMOVE UNUSED GEYSER	X1
		As per A1 & A2.
A11	REMOVE FLOOD LIGHT	X1
		<p>As per A5 &amp; A6</p> <p>NB: Make good rust on green circled cover plate, finish to match existing. Ensure plate is level once complete.</p>
A12	BATHROOM & EN-SUITE SHOWER ROSES	X2
		As per A8.
A13	BATHROOM & EN-SUITE SHOWER PLATFORMS	X2
		As per A9. Refer to <b>Annexure XX</b> .




A14	BATHROOM & EN-SUITE LED STRIPS	X2
		<p>As per A7. Make neat, make level and conceal behind timber cover 'cornice' piece.</p> <p><b>NB:</b> Provide price to replace drivers with smaller, efficient concealable models.</p>
M25	REPLACE MISSING LATTE	Quantify on site
	 	<p>Replace missing latte members. Diameter to match existing as close as possible.</p> <p>Make good all latte 'panels'.</p>
M26	SOLAR GEYSER & ENCLOSURE	X1
		<p>See A2.</p> <p>Replace missing and loose latte members. Ensure panels can be removed readily for repair work.</p>





M27	GEYSER POD	X1
		<p>See A2.</p> <p>Mitre fascia board corners, make good guttering.</p> <p><b>NB: All corners require corrective work.</b></p>
M28	EXTERIOR LIGHT SWITCH	X1
		<p>Ensure each switch circuit is in working order. Clean surfaces. Make good adjacent latte.</p>
M29	SOFFIT & EAVES REPAIR	Quantify on site
		<p>Sand down ply soffits, reseal as per finishing schedule <b>Annexure XX</b>. Make good all external timber beading &amp; seal as per previous.</p> <p>Redirect copper water pipe as per line drawn (optional).</p>




M30	SOFFIT & EAVE REPAIRS CONT.	Quantify on site
	 	<p>Sand down ply soffits, reseal as per finishing schedule <b>Annexure XX</b>.          Replace to match existing where water damage is extensive. Make good all external timber beading &amp; seal as per previous.</p>
M31	FASCIA & BARGE BOARD REPAIRS	At least x3 boards
	 	<p>Sand down fascias &amp; barge boards to raw timber, reseal as per finishing schedule <b>Annexure XX</b>.</p>




M32		Quantify on site
		Sand down and make good all water damaged external beams and posts. Seal as per finishing schedule <b>Annexure XX</b> . Refer to <b>AD110-314 &amp; 313</b> for area.
M33	ENTRANCE DECKING	Quantify on site
		Sand down and make good external decking. Seal as per finishing schedule <b>Annexure XX</b> . Replace planking as needed. Refer to <b>AD110-312</b> for area.
M34	EXTERNAL DECKING	Quantify on site
		Sand down and make good external decking. Seal as per finishing schedule <b>Annexure XX</b> . Ensure fixings are not compromised and edge conditions are level. Refer to <b>AD110-312</b> for area.




M35	JOIST	X1
		Make good bearer joist. Repair split members.
M36	PROTECTION PLATE	X1
		Clean and make good alum. diamond plate sheet at braai area. Approx. 600x2000mm.
M37	SEATING PLATFORMS	X2
		<p>Sand down and make good timber at seating adjacent to braai area. Seal as per finishing schedule <b>Annexure XX</b>.</p> <p>Approx. 1.75m<sup>2</sup> total.</p>

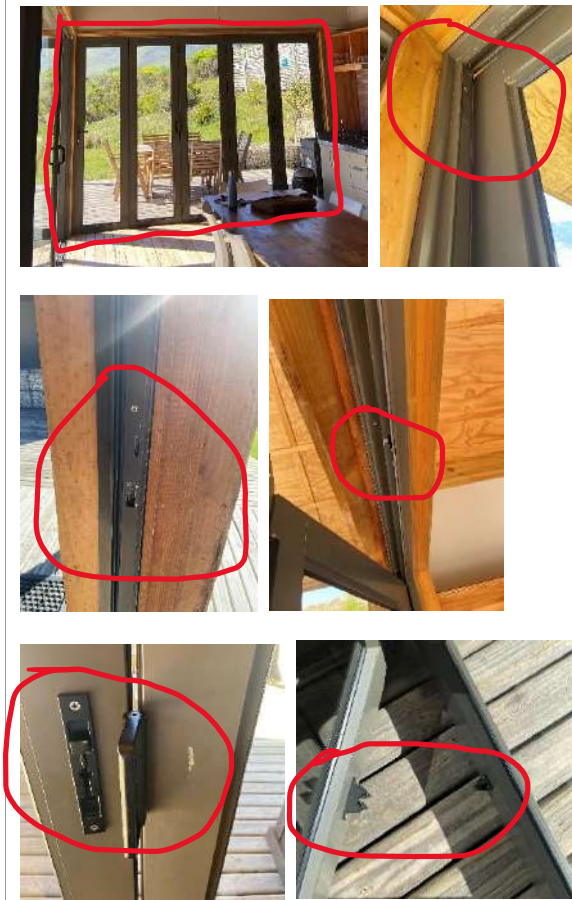

M38	CHAIN HOPPERS	X3
		<p>Replace missing chain hopper funnels, secure those which are loose. Ensure colours to match existing and make good all rust.</p> <p>NB: Clear out all plant matter</p>
M39	REPLACE POST	X1
		<p>Replace warped timber post. Ensure finished condition matches adjacent. Eng. to provide method statement and spec.</p> <p>Seal and finish as per <b>Annexure xx</b>.</p>
M40	BURY SERVICE CONDUITS	Quantify on site
		<p>As per M9. Approx. 1m.</p>











M41	RUSTING BRACING	X1
		Make good rust on bracing, fasteners, and central disc.
M42	ECO-TOWER DOOR BARREL BOLT	X1
		<p>Replace door barrel bolt with stainless steel equivalent.</p> <p>For cabin hook in door open position – replace with longer hook (current condition means door pushes against bracing). Style to match existing, replace screws with stainless steel equivalents.</p>
M43	ECO-TOWER DOOR HINGES	X3
		Make good rust. Rehang door and realign to compensate for timber warpage. Sand down timber and reseal to match existing.
M44		
		Resecure and replace loose latte within covered area.





M45	UNDERCOVER WALKWAY SOFFIT	
		<p>Sand down and reseal ceiling boards, chipped board to be replaced with equivalent ply board. Seal to match existing as per <b>Annexure xx</b>.</p>
M46		X1
		<p>As per M3, M4</p>
M47	GREEN ROOFS – PITCHED ROOF	IMPORTANT
		<p>Refill compartments with soil, look into using hessian soil blanket to enable soil retention – specialist to advise. Transplant existing species and add as needed with like plant species.</p> <p>Remove irrigation entirely as it is not in use or service roof irrigation, relay piping or.</p> <p>NB: Get pricing to match the Mbali Collection's tray system as an alternative.</p>






M48	GREEN ROOFS – FLAT	IMPORTANT
		<p>Remove dead vegetation, add planting to clear trays with like plant species.</p> <p>Remove irrigation entirely as it is not in use or service roof irrigation, relay piping or.</p> <p>NB: Get pricing to match the Mbali Collection's tray system as an alternative.</p>
M49	SOLAR (GEYSER) PANELS	X3
		<p>See A2. Make good all connections, ensure rubberised components are not sun damaged, replace parts as needed.</p>
M50	EXTERNAL LIGHT FIXTURE	X1
		<p>As per M30.</p> <p>Make good light fixture, treat rust on fixture and water damage at base of connection to soffit.</p>




M51	KITCHEN/DINING INTERNAL FLOORS	
		<p>Sand down to raw timber, repair water damage, make good ember damage at fireplace, reseal timberwork as per <b>Annexure xx</b>. Refer to <b>AD110-312</b> for area.</p>
M52	KITCHEN/DINING INTERNAL FLOORS - FIREPLACE	
		<p>As per M2</p>
M53	FIREPLACE	X1
		<p>As per M1.</p> <p>NB: Ensure there is no leaking from above causing rust around flue-fireplace junction.</p>




M54	SERVICE KITCHEN/DINING FOLDING STACKING DOORS	X1 (x5 panels)
		<p>Service complete door system incl. sliding mechanisms, locking mechanisms, replace seals.</p> <p>NB:</p> <ul style="list-style-type: none"> <li>• Final door leaf doesn't close readily, door catch has failed etc.</li> <li>• Ensure stacking leafs locking catches lock from the same direction.</li> <li>• Repair damaged finish to match existing</li> </ul>
M55	SERVICE GABLE GLAZING	X2
		<p>Clean and service bottom hung windows within gable ends (x2). Replace seals if required.</p>

M56	SERVICE KITCHEN/DINING SLIDING DOORS	X1 (x3 leafs)
	     	<p>Service complete door system incl. sliding mechanisms, locking mechanisms, replace seals.</p> <p>NB:</p> <ul style="list-style-type: none"> <li>• Make good face plate, striker plate, and lock – ensure flush with side of door stile</li> <li>• Ensure leafs slide readily</li> <li>• Repair damaged finish (where previous attempted repair has taken place, clean timber)</li> <li>• Finish to match existing</li> </ul>
M57	SERVICE SLIDING SASH WINDOWS	X2
	   	<p>Service complete window systems incl. sliding mechanisms, locking mechanisms, replace seals.</p> <p>NB:</p> <ul style="list-style-type: none"> <li>• Make good face plate, strike plates, replace missing pop-rivets</li> <li>• Ensure leafs slide readily</li> <li>• Repair damaged finish to match existing</li> </ul>




M5	ELECTRICAL & FIXTURES	
		<ul style="list-style-type: none"> <li>• Light points and electrical sockets in working order. However, ensure that each switch turns on in the same direction.</li> <li>• Service oven, stove top, extractor unit – check respective seals, filters, control gauge</li> <li>• See A3 - ensure each light is of 3000K</li> <li>• See A6 – x1 to replace</li> <li>• See A7</li> </ul>
M59	WATER FILTER	
		<p>Service water filter system, ensure flow rate is working correctly (in its current state an issue seems to be present).</p> <p><b>NB: Ensure the below-sink plug point is installed as per regulations and is connected to the earth leakage supply.</b></p>
M60		
		<p>Sand down interior of carcases to remove water damage. Reseal as per <b>Annexure xx</b>.</p> <p>Ensure seals of waste and trap are in working order of sink above.</p>
M61		
		<p>Make level and aligned electrical cover plates</p>





M62	DRAWER/DOOR FRONTS	X10 Surfaces
		Sand down and respray all drawer fronts and cupboard doors. Colour to match existing as per <b>Annexure xx</b> . Refer to <b>AD110-672</b> for area.
M63	DRAWER RUNNERS	X16 (x8 pairs)
		Replace all drawer runners with heavy duty extension runners & soft closers.  Service door hinges and add soft closers to doors of kitchenette unit (x3).
M64	KITCHENETTE KICKPLATE	
		Sand down to raw timber, repair water damage, reseal timberwork as per <b>Annexure xx</b> .
M65		
		Seal gap between timber and tiles with polyurethane flexible sealant as per Sikaflex 11FC (white).
M66		
		Clean out gap between stainless steel and tiling and timber side members, reseal with polyurethane flexible sealant as per Sikaflex 11FC (white).  Clean grout, refill gaps between tiling where required. Colour to match existing.




M67	REFINISH BATHROOM CEILING	
		<p>Sand down ceiling to raw timber, reseal as per <b>Annexure xx</b>.</p>
M68	BATHROOM VANITIES	X2
		<p>Make good vanities in bathroom and en-suite, sand down to raw timber, reseal as per <b>Annexure xx</b>. Reseal around perimeter at tile-timber junction with polyurethane flexible sealant as per Sikaflex 11FC (white).</p>
M69	BATHROOM VANITIES' SUBSTRUCTURE	X2
		<p>Make good substructure, ensure members are level, sand down, make good at tile juncture &amp; seal with polyurethane flexible sealant as per Sikaflex 11FC (white).</p>

M70	BATHROOM & EN-SUITE SKIRTING JUNCTURES	
		<p>Clean out gap between tiling and timber floor. Reseal with polyurethane flexible sealant as per Sikaflex 11FC (white). Refer to <b>AD110-312</b>, <b>AD110-660</b> for areas.</p> <p>NB: Sealant application not to take place at shower duck-board</p>
M71	SERVICE BATHROOM SLIDING DOORS	X1 (x2 leafs)
		<p>Service complete door system incl. sliding mechanisms, locking mechanisms, replace seals.</p> <p>NB:</p> <ul style="list-style-type: none"> <li>• Make good face plate, striker plate and lock – ensure flush with side of door stile</li> <li>• Ensure leafs slide readily</li> <li>• Finish to match existing</li> </ul>
M72	BATHROOM FRONT DOOR	X1
		<p>Make neat at entrance door, reinstall striker plate, make good rust and replace missing screws (stainless steel).</p> <p>Ensure all screws are the same.</p>

M73	BEDROOM 2 FRONT DOOR	X1
		<p>Door has begun to sag, make good. Ensure barrel bolts operate readily.</p> <p>Make neat around face plate. Repaint leading face (side) of door to match existing.</p>
M74	BEDROOM 2 FRONT DOOR CONT.	X1
		<p>Make good at striker plate. Repaint face of stile to match existing.</p> <p>Ensure barrel bolt is readily operable.</p> <p>Where frame and timber lining are beginning to separate due to movement, seal with polyurethane flexible sealant as per Sikaflex 11FC (white).</p>
M75	SERVICE BEDROOM 2 SLIDING SASH WINDOW	X1
		<p>Service complete window systems incl. sliding mechanisms, locking mechanisms, replace seals.</p> <p>NB:</p> <ul style="list-style-type: none"> <li>• Make good face plate, strike plates, replace missing pop-rivets</li> <li>• Ensure leafs slide readily</li> <li>• Repair damaged finish to match existing</li> </ul>




M76	BEDROOM 2 SLIDING DOOR	X1 (x2 leafs)
		<p>Service complete door system incl. sliding mechanisms, locking mechanisms, replace seals.</p> <p>NB:</p> <ul style="list-style-type: none"> <li>• Make good face plate, striker plate, and lock – ensure flush with side of door stile</li> <li>• Ensure leafs slide readily</li> <li>• Replace missing pop rivets</li> <li>• Finish to match existing</li> </ul>
M77	BEDROOM 1 FRONT DOOR	X1
		<p>Make good chips and damage – sand down and respray door to match existing finish.</p> <p>Make neat at face &amp; striker plates.</p>
M78	BEDROOM 1 FLOOR	
		<p>Sand down to raw timber, repair water damage, reseal timberwork as per <b>Annexure xx</b>. Refer to <b>AD110-312</b> for area.</p>



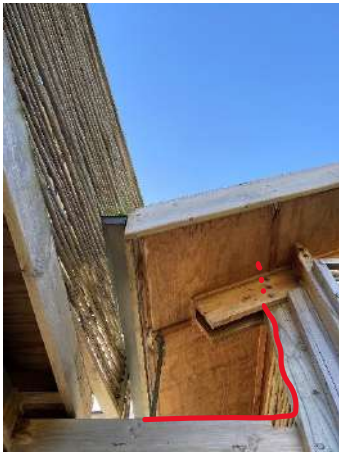
M79	BEDROOM 1 SLIDING DOOR	X1 (x2 leafs)
		<p>Service complete door system incl. sliding mechanisms, locking mechanisms, replace seals.</p> <p>NB:</p> <ul style="list-style-type: none"> <li>• Make good face plate, striker plate, and lock – ensure flush with side of door stile</li> <li>• Ensure leafs slide readily</li> <li>• Replace missing striker plate</li> <li>• Finish to match existing</li> </ul>
M80		X1
		<p>Make neat and level light switch cover adjacent to front door.</p>
M81		
		<p>Make good peeling paintwork along corner of wall adjacent door.</p> <p>Finish to match existing.</p>
M82	REFINISH EN-SUITE CEILING	
		<p>Sand down ceiling to raw timber, reseal as per <b>Annexure xx</b>.</p>

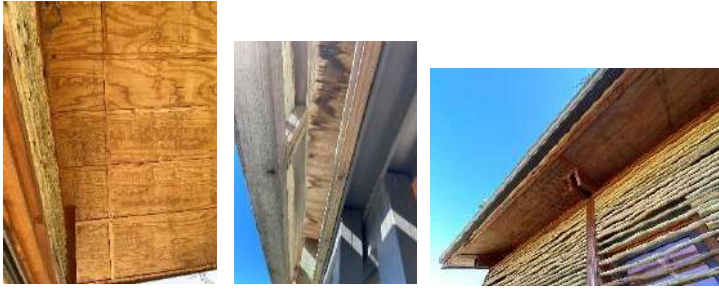


M83	SERVICE EN-SUITE SLIDING DOORS	X1 (x2 leafs)
		Service complete door system incl. sliding mechanisms, locking mechanisms, replace seals.
M84	BATHROOM & EN-SUITE SWITCHES	X2
		Make level switch covers. Ensure fan and light operations are working – lighting only working intermittently.
M89	ROOF EDGING	
		Make good rusting at fixings to edging strip, replace nails with stainless steel equivalent. Ensure seal between fixing and edging strip.  Finish as per existing.



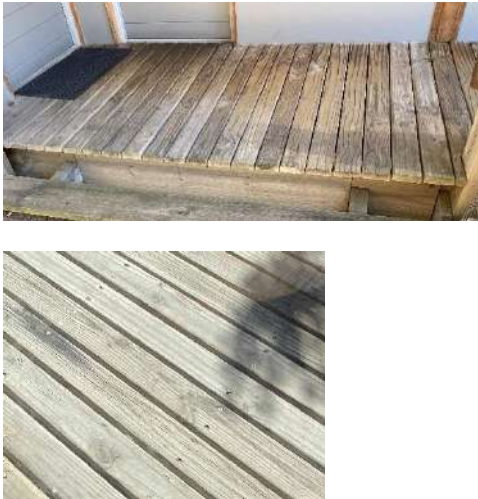
**CABIN 4 – ‘Fire Lily’**





ITEM	DESCRIPTION/PHOTO	CORRECTION METHODOLOGY
A15	REMOVE UNUSED GEYSER	X1
		As per A1 & A2.
A16	REMOVE FLOOD LIGHT	X1
		<p>As per A5 &amp; A6</p> <p>NB: Make good rust on green circled cover plate, finish to match existing. Ensure plate is level once repair work is complete.</p>
A17	BATHROOM & EN-SUITE SHOWER PLATFORMS	X2
		As per A9. Refer to <b>Annexure XX</b> .





A18	BATHROOM & EN-SUITE SHOWER ROSES	X2
		As per A8.
M85	REPLACE MISSING LATTE	Quantify on site
		Replace splitting latte members. Approx. 8 instances seen on cabin.
M86	REPLACE MISSING LATTE	Quantify on site
		Replace missing latte members. Diameter to match existing as close as possible.  Make good all latte 'panels' & loose members.

M87	SOLAR GEYSER & ENCLOSURE	X1
		<p>See A2.</p> <p>Replace missing and loose latte members. Ensure panels can be removed readily for repair work.</p> <p>NB: Make good fascias, sand down and reseal as per <b>Annexure xx</b>.</p>
M88	EXTERIOR LIGHT SWITCH	X1
		<p>Ensure each switch circuit is in working order. Clean surfaces. Make good adjacent latte.</p>
M89	SOFFIT & EAVE REPAIRS	Quantify on site
		<p>Sand down ply soffits, reseal as per finishing schedule <b>Annexure XX</b>. Make good all external timber beading &amp; seal as per previous.</p> <p>NB: Optional, redirect copper water pipe as per line drawn.</p>





M90	SOFFIT & EAVES REPAIRS CONT.	Quantify on site
		<p>Sand down ply soffits, reseal as per finishing schedule <b>Annexure XX</b>.          Replace to match existing where water damage is extensive (i.e. second image). Make good all external timber beading &amp; seal as per previous.</p>
M91	FASCIA & BARGE BOARD REPAIRS	At least 4 boards
		<p>Sand down fascias &amp; barge boards to raw timber, reseal as per finishing schedule <b>Annexure XX</b>.           Replace circled members.</p>
M92	FASCIA & BARGE BOARD REPAIRS CONT.	At least 4 boards
		<p>Sand down fascias &amp; barge boards to raw timber, reseal as per finishing schedule <b>Annexure XX</b>.</p>





M93		X1
		<p>Replace timber railing member to match existing on bathroom/en-suite elevation. Finish as per <b>Annexure xx</b>.</p> <p>Make good separating latte panel post.</p>
M94		Quantify on site
		<p>Sand down and make good all water damaged external beams and posts. Seal as per finishing schedule <b>Annexure XX</b>. Refer to <b>AD110-310</b>, <b>AD110-311</b> for area.</p>
M95	EXTERNAL DECKING	Quantify on site
		<p>Sand down and make good external decking. Seal as per finishing schedule <b>Annexure XX</b>. Ensure fixings are not compromised and edge conditions are level. Refer to <b>AD110-309</b> for area.</p>




M96	SEATING PLATFORMS	X2
		<p>Sand down and make good timber at seating adjacent to braai area. Seal as per finishing schedule <b>Annexure XX</b>.</p> <p>Approx. 1.75m² total.</p>
M97	CHAIN HOPPERS	X3
		<p>Replace missing chain hopper funnels, secure those which are loose. Ensure colours to match existing and make good all rust.</p> <p>NB: Clear out all plant matter</p>
M98	BURY SERVICE CONDUITS	Quantify on site
		<p>As per M9. Approx. 2m.</p>
M99	RUSTING BRACING	X1
		<p>Make good rust on bracing, fasteners, and central disc.</p>



M100	ECO-TOWER DOOR BARREL BOLT	X1
		<p>Replace door barrel bolt with stainless steel equivalent.</p> <p>For cabin hook in door open position – replace with longer hook (current condition means door pushes against bracing). Style to match existing, replace screws with stainless steel equivalents.</p>
M101	ECO-TOWER DOOR HINGES	X3
		<p>Make good rust. Rehang door and realign to compensate for timber warpage. Sand down timber and reseal to match existing.</p>
M102		X2
		<p>As per M8</p>
M103		X2
		<p>As per M8</p> <p>NB: Make good rust on clamp</p>





M104		X1
		As per M3, M4
M105		X1
		Make good split timber member & screw fixing – adjacent Bedroom 1 exterior corner closest to braai.
M106	GREEN ROOFS – PITCHED ROOF	IMPORTANT
		<p>Refill compartments with soil, look into using hessian soil blanket to enable soil retention – specialist to advise. Transplant existing species and add as needed with like plant species.</p> <p>Remove irrigation entirely as it is not in use or service roof irrigation, relay piping or.</p> <p>NB: Get pricing to match the Mbali Collection's tray system as an alternative.</p>





M107	GREEN ROOFS – FLAT	IMPORTANT
		<p>Weed compartments.</p> <p>Remove irrigation entirely as it is not in use or service roof irrigation, relay piping or.</p> <p>NB: Get pricing to match the Mbali Collection's tray system as an alternative.</p>
M108	SOLAR (GEYSER) PANELS	X3
		<p>See A2. Make good all connections, ensure rubberised components are not sun damaged, replace parts as needed.</p>
M109	EXTERNAL LIGHT FIXTURE	X1
		<p>As per M90.</p> <p>Make good light fixture, treat rust on fixture and water damage at base of connection to soffit.</p>
M110		X1
		<p>Make good bench between bedrooms 1&amp;2 – loose.</p>




M111	KITCHEN/DINING INTERNAL FLOORS	
		Sand down to raw timber, repair water damage, make good ember damage at fireplace, reseal timberwork as per <b>Annexure xx</b> . Refer to <b>AD110-309</b> for area.
M122	KITCHEN/DINING INTERNAL FLOORS - FIREPLACE	
		As per M2
M113	FIREPLACE	X1
		As per M1.  NB: Door does not secure – handle latch broken.
M114	SERVICE KITCHEN/DINING FOLDING STACKING DOORS	X1 (x5 panels)
		Service complete door system incl. sliding mechanisms, locking mechanisms, replace seals.  NB: <ul style="list-style-type: none"><li>• Door catch has failed etc.</li><li>• Ensure stacking leafs locking catches lock from the same direction.</li><li>• Doors scrape against decking.</li></ul> Repair damaged finish to match existing




M115	SERVICE GABLE GLAZING	X2
		Clean and service bottom hung windows within gable ends (x2). Replace seals if required.
M116	SERVICE KITCHEN/DINING SLIDING DOORS	X1 (x3 leafs)
		<p>Service complete door system incl. sliding mechanisms, locking mechanisms, replace seals.</p> <p>NB:</p> <ul style="list-style-type: none"> <li>• Make good face plate, striker plate, and lock – ensure flush with side of door stile</li> <li>• Ensure leafs slide readily</li> <li>• Replace cracked pane of glass – to match existing type</li> <li>• Finish to match existing</li> </ul>
M117	SERVICE SLIDING SASH WINDOWS	X2
		<p>Service complete window systems incl. sliding mechanisms, locking mechanisms, replace seals.</p> <p>NB:</p> <ul style="list-style-type: none"> <li>• Make good face plate, strike plates, replace missing pop-rivets</li> <li>• Ensure leafs slide readily</li> <li>• Repair damaged finish to match existing</li> </ul>




M118	ELECTRICAL & FIXTURES	
		<ul style="list-style-type: none"> <li>• Light points and electrical sockets in working order – <b>excepting see below point.</b> Ensure that each switch turns on from the same direction <ul style="list-style-type: none"> <li>- Kitching/Dining light circuit – make good</li> </ul> </li> <li>• Service oven – check respective seals, control gauge <ul style="list-style-type: none"> <li>- Internal light not in working order</li> </ul> </li> <li>• Service stove top</li> <li>• Service extractor unit – check respective seals, filters, control panels <ul style="list-style-type: none"> <li>- Replace lights not in working order</li> </ul> </li> <li>• Ties into ensuring each light is of 3000K</li> <li>• See A6 – x1 to replace</li> <li>• See A7</li> </ul>
M119	WATER FILTER	
		<p>Service water filter system, ensure flow rate is working correctly (in its current state an issue seems to be present).</p> <p>NB: Ensure the below-sink plug point is installed as per regulations and is connected to the earth leakage supply.</p>


M120	DRAWER/DOOR FRONTS	X10 Surfaces
		Sand down and respray all drawer fronts and cupboard doors. Colour to match existing as per <b>Annexure xx</b> .
M121	DRAWER RUNNERS	X16 (x8 pairs)
		<p>Replace all drawer runners with heavy duty extension runners &amp; soft closers.</p> <p>Service door hinges and add soft closers to doors of kitchenette unit (x3).</p>
M122	KITCHENETTE KICKPLATE	
		Sand down to raw timber, repair water damage, reseal timberwork as per <b>Annexure xx</b> .
M123		
		Seal gap between timber and tiles with polyurethane flexible sealant as per Sikaflex FC11 (white).

M124		
		<p>Clean out gap between stainless steel and tiling and timber side members, reseal with polyurethane flexible sealant as per Sikaflex 11FC (white).</p> <p>Clean grout, refill gaps between tiling where required. Colour to match existing.</p>
M125	BATHROOM VANITIES	X2
		<p>Make good vanities in bathroom and en-suite, sand down to raw timber, reseal as per <b>Annexure xx</b>. Reseal around perimeter at tile-timber junction with polyurethane flexible sealant as per Sikaflex 11FC (white).</p>
M126	BATHROOM VANITIES' SUBSTRUCTURE	X2
		<p>Make good substructure, ensure members are level, sand down, make good at tile juncture &amp; seal with polyurethane flexible sealant as per Sikaflex 11FC (white).</p> <p>NB: Sealant application not to take place at shower duck-board</p>
M127	BATHROOM & EN-SUITE SKIRTING JUNCTURES	
		<p>Clean out gap between tiling and timber floor. Reseal with polyurethane flexible sealant as per Sikaflex 11FC (white).</p> <p>NB: Sealant application not to take place at shower duck-board</p>



M128		
		Make neat tiling in bathroom and en-suite. Clean grout from mould, regrout at degraded application (to match existing).
M129	SERVICE BATHROOM SLIDING DOORS	X1 (x2 leafs)
		<p>Service complete door system incl. sliding mechanisms, locking mechanisms, replace seals.</p> <p>NB:</p> <ul style="list-style-type: none"> <li>• Make good face plate, striker plate and lock – ensure flush with side of door stile</li> <li>• Ensure leafs slide readily</li> <li>• Finish to match existing</li> </ul>
M130	BATHROOM FRONT DOOR	X1
		<p>Make neat at entrance door, reinstall striker plate, make good rust and replace missing screws (stainless steel).</p> <p>Ensure all screws are the same.</p> <p>Make neat threshold plate.</p> <p>Door scraping against floor, make good.</p>



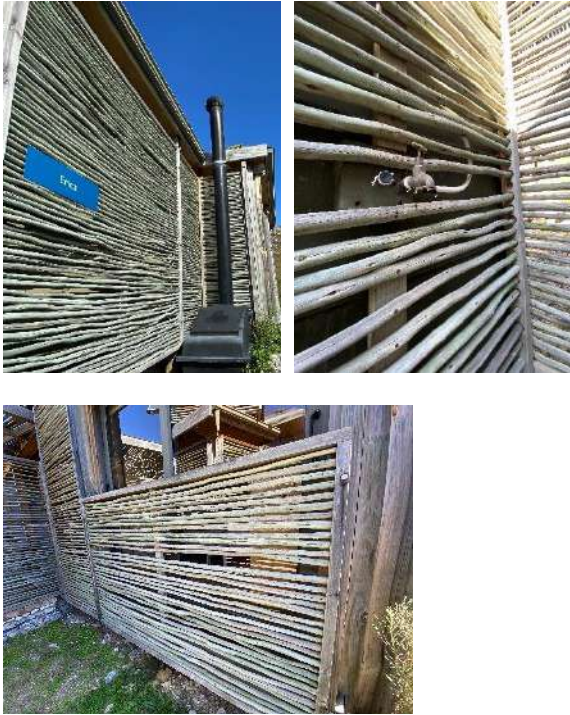
M131	SERVICE BEDROOM 2 SLIDING SASH WINDOW	X1
		<p>Service complete window systems incl. sliding mechanisms, locking mechanisms, replace seals.</p> <p>NB:</p> <ul style="list-style-type: none"> <li>• Make good face plate, strike plates, replace missing pop-rivets</li> <li>• Ensure leafs slide readily</li> <li>• Repair damaged finish to match existing</li> </ul>
M132	BEDROOM 2 SLIDING DOOR	X1 (x2 leafs)
		<p>Service complete door system incl. sliding mechanisms, locking mechanisms, replace seals.</p> <p>NB:</p> <ul style="list-style-type: none"> <li>• Make good face plate, striker plate, and lock – ensure flush with side of door stile</li> <li>• Ensure leafs slide readily</li> <li>• Replace missing pop rivets</li> <li>• Finish to match existing</li> </ul>
M133	BEDROOM 1 FRONT DOOR	X1
		<p>Make good chips and damage – sand down and respray door to match existing finish.</p> <p>Make neat at face &amp; striker plates.</p>

M134	BEDROOM 1 FLOOR	
		<p>Sand down to raw timber, repair water damage, reseal timberwork as per <b>Annexure xx</b>. Refer to <b>AD110-309</b> for area.</p>
M135	BEDROOM 1 SLIDING DOOR	X1 (x2 leafs)
		<p>Service complete door system incl. sliding mechanisms, locking mechanisms, replace seals.</p> <p>NB:</p> <ul style="list-style-type: none"> <li>• Make good face plate, striker plate, and lock – ensure flush with side of door stile</li> <li>• Ensure leafs slide readily</li> <li>• Replace missing striker plate</li> </ul>
M136	SERVICE EN-SUITE SLIDING DOORS	X1 (x2 leafs)
		<p>Service complete door system incl. sliding mechanisms, locking mechanisms, replace seals.</p>





M137		
		<p>As per A9. Make good LED shelf beading.</p>
O3	ROOF EDGING	
		<p>Make good rusting at fixings to edging strip, replace nails with stainless steel equivalent. Ensure seal between fixing and edging strip.</p> <p>Finish as per existing.</p>




# CABIN 3 – 'Erica'





ITEM	DESCRIPTION/PHOTO	CORRECTION METHODOLOGY
A19	REMOVE UNUSED GEYSER	X1
		As per A1 & A2.
A20	REMOVE FLOOD LIGHTS	X1
		<p>As per A5 &amp; A6</p> <p>NB: Make good rust on green circled cover plate, finish to match existing.</p>

A21	BATHROOM & EN-SUITE SHOWER PLATFORMS	X2
		As per A9. Refer to <b>Annexure XX</b> .
A22	BATHROOM & EN-SUITE SHOWER ROSES	X2
		As per A8.
M138	REPLACE MISSING LATTE	Quantify on site
		<p>Replace missing latte members. Diameter to match existing as close as possible.</p> <p>Make good all latte 'panels'.</p>

M139	SOLAR GEYSER & ENCLOSURE	X1
		<p>See A2.</p> <p>Replace missing and loose latte members. Ensure panels can be removed readily for repair work.</p>
M140	EXTERIOR LIGHT SWITCH	X1
		<p>Ensure each switch circuit is in working order. Clean surfaces. Make good adjacent latte.</p>
M141	SOFFIT & EAVES REPAIR	Quantify on site
		<p>Sand down ply soffits, reseal as per finishing schedule <b>Annexure XX</b>. Make good all external timber beading &amp; seal as per previous.</p> <p>Make good notched timber member (dimension and type to match existing) by replacing.</p> <p>Redirect copper water pipe as per line drawn (optional).</p>



M142	SOFFIT & EAVE REPAIRS CONT.	Quantify on site
	  	<p>Sand down ply soffits, reseal as per finishing schedule <b>Annexure XX</b>.          Replace to match existing where water damage is extensive. Make good all external timber beading &amp; seal as per previous.</p>
M143	FASCIA & BARGE BOARD REPAIRS	At least x1 board
		<p>Sand down fascias &amp; barge boards to raw timber, reseal as per finishing schedule <b>Annexure XX</b>.</p>





M144		Quantify on site
		<p>Sand down and make good all water damaged external beams and posts. Seal as per finishing schedule <b>Annexure XX</b>. Refer to <b>AD110-307</b>, <b>AD110-308</b> for area.</p>
M145	EXTERNAL DECKING	Quantify on site
		<p>Sand down and make good external decking. Seal as per finishing schedule <b>Annexure XX</b>. Ensure fixings are not compromised and edge conditions are level. Refer to <b>AD110-306</b> for area.</p> <p>NB: Make good step.</p>
M146	SEATING PLATFORMS	X2
		<p>Sand down and make good timber at seating adjacent to braai area. Seal as per finishing schedule <b>Annexure XX</b>.</p> <p>Approx. 1.75m<sup>2</sup> total.</p>


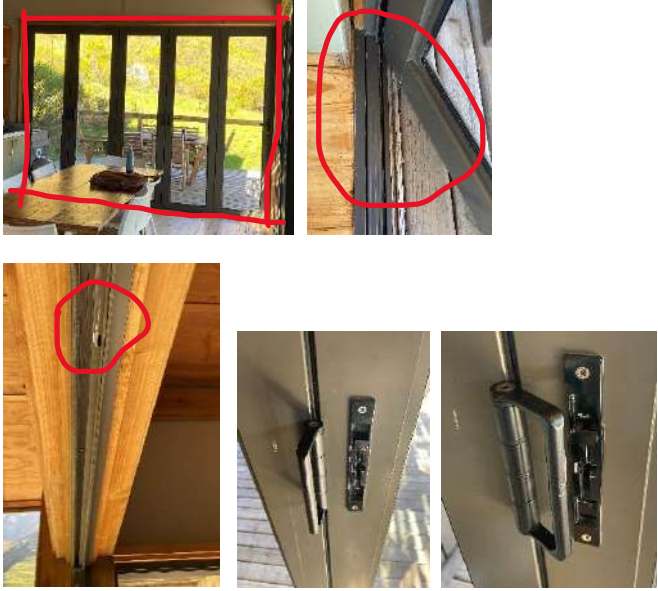

M147	CHAIN HOPPERS	X3
		<p>Replace missing chain hopper funnels, secure those which are loose. Ensure colours to match existing and make good all rust.</p> <p>NB: Clear out all plant matter</p>
M148	BURY SERVICE CONDUITS	Quantify on site
		<p>As per M9. Approx. 2.5m</p>
M149	RUSTING BRACING	X1
		<p>Make good rust on bracing, fasteners, and central disc.</p>
M150	ECO-TOWER DOOR BARREL BOLT	X1
		<p>Replace door barrel bolt with stainless steel equivalent.</p> <p>Make good cabin hook.</p>



M151	ECO-TOWER DOOR HINGES	X3
		<p>Make good rust. Rehang door and realign to compensate for timber warpage. Sand down timber and reseal to match existing.</p>
M152		X1
		<p>As per M3, M4</p>
M153		IMPORTANT
		<p>Clear away dead vegetation from building structures.</p>




M154	TIGHTEN CABLES	ALL – APPROX. X25 individual cables
		<p>Tighten all balustrade cables to same tension. Ensure all turnbuckle fasteners are in good working order.</p>
M155	BALUSTRADING	
		<p>Sand down railing and posts to raw timber, reseal as per <b>Annexure xx</b>.</p>





M156	GREEN ROOFS – PITCHED ROOF	IMPORTANT
		<p>Refill compartments with soil, look into using hessian soil blanket to enable soil retention – specialist to advise. Transplant existing species and add as needed with like plant species.</p> <p>Remove irrigation entirely as it is not in use or service roof irrigation, relay piping or.</p> <p>NB: Get pricing to match the Mbali Collection's tray system as an alternative.</p>
M157	GREEN ROOFS – FLAT	IMPORTANT
		<p>Remove dead vegetation, add planting to clear trays with like plant species.</p> <p>Remove irrigation entirely as it is not in use or service roof irrigation, relay piping or.</p> <p>NB: Get pricing to match the Mbali Collection's tray system as an alternative.</p>






M158	SOLAR (GEYSER) PANELS	X3
		See A2. Make good all connections, ensure rubberised components are un-sun damaged, replace parts as needed.
M159	EXTERNAL LIGHT FIXTURE	X1
		<p>As per M142.</p> <p>Make good light fixture, treat rust on fixture and water damage at base of connection to soffit.</p>
M160	KITCHEN/DINING INTERNAL FLOORS	
		<p>Sand down to raw timber, repair water damage, make good ember damage at fireplace, reseal timberwork as per <b>Annexure xx</b>. Refer to <b>AD110-306</b> for area.</p>
M161	KITCHEN/DINING INTERNAL FLOORS - FIREPLACE	
		As per M2

M162	FIREPLACE	X1
		<p>As per M1.</p> <p>NB: Handle is broken. Damage to ceiling – make good. Ensure seal around ceiling is in working order.</p>
M163	SERVICE KITCHEN/DINING FOLDING STACKING DOORS	X1 (x5 panels)
		<p>Service complete door system incl. sliding mechanisms, locking mechanisms, replace seals.</p> <p>NB:</p> <ul style="list-style-type: none"> <li>Final door leaf doesn't close readily, door catch has failed etc.</li> <li>Ensure stacking leafs locking catches lock from the same direction.</li> </ul> <p>Repair damaged finish to match existing</p>
M164	SERVICE GABLE GLAZING	X2
		<p>Clean and service bottom hung windows within gable ends (x2). Replace seals if required.</p>





M165	SERVICE KITCHEN/DINING SLIDING DOORS	X1 (x3 leafs)
		<p>Service complete door system incl. sliding mechanisms, locking mechanisms, replace seals.</p> <p>NB:</p> <ul style="list-style-type: none"> <li>• Make good face plate, striker plate, and lock – ensure flush with side of door stile. Locking mechanism inoperable, make good.</li> <li>• Ensure leafs slide readily</li> <li>• Finish to match existing</li> </ul>
M166	SERVICE SLIDING SASH WINDOWS	X2
		<p>Service complete window systems incl. sliding mechanisms, locking mechanisms, replace seals.</p> <p>NB:</p> <ul style="list-style-type: none"> <li>• Make good face plate, strike plates, replace missing pop-rivets</li> <li>• Ensure leafs slide readily</li> <li>• Repair damaged finish to match existing</li> </ul>

M167	ELECTRICAL & FIXTURES	
		<ul style="list-style-type: none"> <li>• Light points and electrical sockets in working order. However, ensure that each switch turns on in the same direction</li> <li>• Service oven, stove top, extractor unit – check respective seals, filters, control gauge</li> <li>• Ties into ensuring each light is of 3000K</li> <li>• See A6 – x1 to replace</li> <li>• See A7</li> </ul>
M168	WATER FILTER	
		<p>Service water filter system, ensure flow rate is working correctly.</p> <p><b>NB:</b> Ensure the below-sink plug point is installed as per regulations and is connected to the earth leakage supply.</p>
M169		
		<p>Sand down interior of carcasses to remove water damage. Reseal as per <b>Annexure xx</b>.</p> <p>Ensure seals of waste and trap are in working order of sink above.</p>

M170	DRAWER/DOOR FRONTS	X10 Surfaces
		Sand down and respray all drawer fronts and cupboard doors. Colour to match existing as per <b>Annexure xx</b> .
M171	DRAWER RUNNERS	X16 (x8 pairs)
		<p>Replace all drawer runners with heavy duty extension runners &amp; soft closers.</p> <p>Service door hinges and add soft closers to doors of kitchenette unit (x3).</p>
M172	KITCHENETTE KICKPLATE	
		Sand down to raw timber, repair water damage, reseal timberwork as per <b>Annexure xx</b> .
M173		
		Seal gap between timber and tiles with polyurethane flexible sealant as per Sikaflex 11FC (white). Make neat.



M174		
		<p>Clean out gap between stainless steel and tiling and timber side members, reseal with polyurethane flexible sealant as per Sikaflex 11FC (white).</p> <p>Clean grout, refill gaps between tiling where required. Colour to match existing.</p>
M175	REFINISH BATHROOM & EN_SUITE CEILINGS	
		<p>Sand down ceiling to raw timber, reseal as per <b>Annexure xx</b>.</p>
M176	BATHROOM VANITIES	X2
		<p>Make good vanities in bathroom and en-suite, sand down to raw timber, reseal as per <b>Annexure xx</b>. Reseal around perimeter at tile-timber junction with polyurethane flexible sealant as per Sikaflex 11FC (white).</p>
M177	BATHROOM VANITIES' SUBSTRUCTURE	
		<p>Make good substructure, ensure members are level, sand down, make good at tile juncture &amp; seal with polyurethane flexible sealant as per Sikaflex FC11 (white).</p>
M178	BATHROOM & EN-SUITE SKIRTING JUNCTURES	
		<p>Clean out gap between tiling and timber floor. Reseal with polyurethane flexible sealant as per Sikaflex FC11 (white). Refer to <b>AD110-306</b> for areas.</p> <p>NB: Sealant application not to take place at shower duck-board</p>

M179		
		Make neat tiling in bathroom and en-suite. Clean mould off grout, regrout at degraded application (to match existing).
M180	SERVICE BATHROOM & EN-SUITE SLIDING DOORS	X2 (x2 leafs p/door)
		<p>Service complete door system incl. sliding mechanisms, locking mechanisms, replace seals.</p> <p>NB:</p> <ul style="list-style-type: none"> <li>• Make good face plate, striker plate and lock – ensure flush with side of door stile</li> <li>• Ensure leafs slide readily</li> <li>• Finish to match existing</li> </ul>
M181		X1
		Make good loose timber reveal.
M182	BATHROOM FRONT DOOR	X1
		Make neat at entrance door, reinstall striker plate, make good rust and replace missing screws (stainless steel).

M183	DOOR HANDLES	X4 Doors – Bedroom 1, Bedroom 2, Bathroom, En-Suite
		Make good.
M184	BEDROOM 1 FRONT DOOR	X1
		Make good door – scrapes against floor. Make neat at entrance door, make good rust and replace missing screws (stainless steel). Make neat at face & striker plates.
M185	SERVICE BEDROOM 1 SLIDING DOOR	X1 (x2 leaves)
		<p>Service complete door system incl. sliding mechanisms, locking mechanisms, replace seals.</p> <p>NB:</p> <ul style="list-style-type: none"> <li>• Make good face plate, striker plate, and lock – ensure flush with side of door stile</li> <li>• Ensure leaves slide readily</li> </ul>
M186	EN-SUITE DOOR	X1
		Make good door – scrapes against floor. Make neat at entrance door, make good rust and replace missing screws (stainless steel). Make neat at face & striker plates.



M187	BEDROOM 2 FRONT DOOR	X1
		<p>Make good door – scrapes against floor. Make neat at entrance door, make good rust and replace missing screws (stainless steel). Make neat at face &amp; striker plates.</p>
M188	SERVICE BEDROOM 2 SLIDING DOOR	X1 (x2 leafs)
		<p>Service complete door system incl. sliding mechanisms, locking mechanisms, replace seals.</p> <p>NB:</p> <ul style="list-style-type: none"> <li>• Make good face plate, striker plate, and lock – ensure flush with side of door stile</li> <li>• Ensure leafs slide readily</li> <li>• Finish to match existing</li> </ul>
M189	SERVICE BEDROOM 2 SLIDING SASH WINDOW	X1
		<p>Service complete window systems incl. sliding mechanisms, locking mechanisms, replace seals.</p> <p>NB:</p> <ul style="list-style-type: none"> <li>• Make good face plate, strike plates, replace missing pop-rivets</li> <li>• Ensure leafs slide readily</li> <li>• Repair damaged finish to match existing</li> </ul>
O4	ROOF EDGING	
		<p>Make good rusting at fixings to edging strip, replace nails with stainless steel equivalent. Ensure seal between fixing and edging strip.</p> <p>Finish as per existing.</p>




CABIN 2 – ‘Everlasting Daisy’




ITEM	DESCRIPTION/PHOTO	CORRECTION METHODOLOGY
A23	REMOVE UNUSED GEYSER	X1
	<div></div>	As per A1 & A2.
A24	REMOVE FLOOD LIGHT	X1
	<div></div>	As per A5, A6  NB: Service fire extinguisher




A25	BATHROOM & EN-SUITE SHOWER PLATFORMS	X2
		As per A9. Refer to <b>Annexure XX</b> .
A26	BATHROOM & EN-SUITE SHOWER ROSES	X2
		As per A8.
M190	REPLACE MISSING LATTE	Quantify on site
		<p>Replace missing latte members. Diameter to match existing as close as possible.</p> <p>Make good all latte 'panels'.</p>

M191	SOLAR GEYSER & ENCLOSURE	X1
		<p>As per A2.</p> <p>Replace missing and loose latte members. Ensure panels can be removed readily for repair work.</p>
M192	EXTERIOR LIGHT SWITCH	X1
		<p>Ensure each switch circuit is in working order. Clean surfaces. Make good adjacent latte.</p>


M193	SOFFIT & EAVES REPAIR	Quantify on site
		<p>Sand down ply soffits, reseal as per finishing schedule <b>Annexure XX</b>. Replace to match existing where water damage is extensive. Make good all external timber beading &amp; seal as per previous.</p>
M194		Quantify on site
		<p>Sand down and make good all water damaged external beams and posts. Seal as per finishing schedule <b>Annexure XX</b>. Refer to <b>AD110-304, AD110-305</b> for area.</p>



M195	EXTERNAL DECKING	Quantify on site
		<p>Sand down and make good external decking. Seal as per finishing schedule <b>Annexure XX</b>. Ensure fixings are not compromised and edge conditions are level. Refer to <b>AD110-303</b> for area.</p>
M196	SEATING PLATFORM	X1
		<p>Sand down and make good timber at seating adjacent to braai area – unstable in its current condition. Seal as per finishing schedule <b>Annexure XX</b>. Replace gouged members.</p> <p>Approx. 1.75m<sup>2</sup> total.</p>
M197	LINING BOARD REPAIRS	
		<p>Sand down linings, fascias &amp; barge boards to raw timber, reseal as per finishing schedule <b>Annexure XX</b>.</p> <p>NB: Note balustrading requires sanding and refinishing</p>

M198	ENTRANCE GATE	X1
		<p>Replace gate as per existing dimensions. Include cross-bracing and 'lock-rail'. Replace hinges with like – add a third one.</p> <p>Replace cabin hook with stainless steel equivalent – incl. screws.</p>
M199	CHAIN HOPPER	X1
		<p>Replace missing chain hopper funnels, secure those which are loose. Ensure colours to match existing and make good all rust.</p>
M200	RUSTING BRACING	X1
		<p>Make good rust on bracing, fasteners, and central disc.</p>

M201	ECO-TOWER DOOR BARREL BOLT	X1
		Replace door barrel bolt with stainless steel equivalent.
M202	ECO-TOWER DOOR HINGES	X3
		Make good rust. Rehang door and realign to compensate for timber warpage. Sand down timber and reseal to match existing.
M203		X1
		As per M3, M4


M204	TIGHTEN CABLES	ALL – APPROX. X51 individual cables
		<p>Tighten all balustrade cables to same tension. Ensure all turnbuckle fasteners are in good working order. Make good rusting components.</p>
M205	BALUSTRADING	
		<p>Sand down railing and posts to raw timber, reseal as per <b>Annexure xx</b>.</p>



M206	GREEN ROOFS – PITCHED ROOF	IMPORTANT
		<p>Refill compartments with soil, look into using hessian soil blanket to enable soil retention – specialist to advise. Transplant existing species and add as needed with like plant species.</p> <p>Remove irrigation entirely as it is not in use or service roof irrigation, relay piping or.</p> <p>NB: Get pricing to match the Mbali Collection's tray system as an alternative.</p>
M207	GREEN ROOFS – FLAT	IMPORTANT
		<p>Remove dead vegetation, add planting to clear trays with like plant species.</p> <p>Remove irrigation entirely as it is not in use or service roof irrigation, relay piping or.</p> <p>NB: Get pricing to match the Mbali Collection's tray system as an alternative.</p>
M208	SOLAR (GEYSER) PANELS	X3
		<p>See A2. Make good all connections, ensure rubberised components are un-sun damaged, replace parts as needed.</p>





M209	EXTERNAL LIGHT FIXTURE	X1
		<p>As per M193.</p> <p>Make good light fixture, treat rust on fixture and water damage at base of connection to soffit.</p>
M210	KITCHEN/DINING INTERNAL FLOORS	
		<p>Sand down to raw timber, repair water damage, make good ember damage at fireplace, reseal timberwork as per <b>Annexure xx</b>. Refer to <b>AD110-303</b> for area.</p>





M211	KITCHEN/DINING INTERNAL FLOORS - FIREPLACE	
		As per M2
M212	FIREPLACE	X1
		<p>As per M1.</p> <p>NB: Make good leak at flue-roof junction.</p>



M213	SERVICE GABLE GLAZING	X2
		Clean and service bottom hung windows within gable ends (x2). Replace seals if required.
M214	SERVICE KITCHEN/DINING FOLDING STACKING DOORS	X1 (x5 panels)
	    	<p>Service complete door system incl. sliding mechanisms, locking mechanisms, replace seals.</p> <p>NB:</p> <ul style="list-style-type: none"> <li>Final door leaf doesn't close readily, door catch has failed etc.</li> <li>Ensure stacking leaves locking catches lock from the same direction.</li> </ul> <p>Repair damaged finish to match existing</p>
M215	SERVICE KITCHEN/DINING SLIDING DOORS	X1 (x3 leaves)
	    	<p>Service complete door system incl. sliding mechanisms, locking mechanisms, replace seals.</p> <p>NB:</p> <ul style="list-style-type: none"> <li>Make good face plate, striker plate, and lock – ensure flush with side of door stile. Locking mechanism inoperable, make good.</li> <li>Ensure leaves slide readily</li> <li>Finish to match existing</li> </ul>




M216	SERVICE SLIDING SASH WINDOWS	X1
		<p>Service complete window systems incl. sliding mechanisms, locking mechanisms, replace seals. Ensure gaps between window and frame are made good.</p> <p>NB:</p> <ul style="list-style-type: none"> <li>• Make good face plate, strike plates, replace missing pop-rivets</li> <li>• Ensure leafs slide readily</li> <li>• Repair damaged finish to match existing</li> </ul>




M217	ELECTRICAL & FIXTURES	
		<ul style="list-style-type: none"> <li>• Light points and electrical sockets in working order – <b>excepting see below points.</b> Ensure that each switch turns on in the same direction <ul style="list-style-type: none"> <li>- Bedroom 1 light not in working order</li> <li>- En-suite light switch not in working order</li> <li>- En-suite extractor fan switch not in working order</li> </ul> </li> <li>• Service oven – check respective seals, control gauge <ul style="list-style-type: none"> <li>- Internal light not in working order</li> </ul> </li> <li>• Service stove top</li> <li>• Service extractor unit – check respective seals, filters, control panels <ul style="list-style-type: none"> <li>- Replace lights not in working order</li> </ul> </li> <li>• Ties into ensuring each light is of 3000K</li> <li>• See A6 – x1 to replace</li> <li>• See A7</li> </ul>
M218	WATER FILTER	
		<p>Service water filter system, ensure flow rate is working correctly.</p> <p><b>NB: Ensure the below-sink plug point is installed as per regulations and is connected to the earth leakage supply.</b></p>

M219		
		<p>Sand down interior of carcasses to remove water damage. Reseal as per <b>Annexure xx</b>.</p> <p>Ensure seals of waste and trap are in working order of sink above.</p> <p>NB: Plug point potentially not compliant with regulations – check if connected to earth leakage supply.</p>
M220	DRAWER/DOOR FRONTS	X10 Surfaces
		<p>Sand down and respray all drawer fronts and cupboard doors. Colour to match existing as per <b>Annexure xx</b>.</p>
M221	DRAWER RUNNERS	X16 (x8 pairs)
		<p>Replace all drawer runners with heavy duty extension runners &amp; soft closers.</p> <p>Service door hinges and add soft closers to doors of kitchenette unit (x3).</p>
M222	KITCHENETTE KICKPLATE	
		<p>Sand down to raw timber, repair water damage, reseal timberwork as per <b>Annexure xx</b>.</p>

M223		
		<p>Seal gap between timber and tiles with polyurethane flexible sealant as per Sikaflex 11FC (white). Make neat.</p>
M224		
		<p>Clean out gap between stainless steel and tiling and timber side members, reseal with polyurethane flexible sealant as per Sikaflex 11FC (white).</p> <p>Clean grout, refill gaps between tiling where required. Colour to match existing.</p>
M225	REFINISH BATHROOM & EN_SUITE CEILINGS	
		<p>Sand down ceiling to raw timber, reseal as per <b>Annexure xx</b>.</p>
M226	BATHROOM VANITIES	X2
		<p>Make good vanities in bathroom and en-suite, sand down to raw timber, reseal as per <b>Annexure xx</b>. Reseal around perimeter at tile-timber junction with polyurethane flexible sealant as per Sikaflex 11FC (white).</p>




M227	BATHROOM VANITIES' SUBSTRUCTURE	
		Make good substructure, ensure members are level, sand down, make good at tile juncture & seal with polyurethane flexible sealant as per Sikaflex FC11 (white).
M228	BATHROOM & EN-SUITE SKIRTING JUNCTURES	
		<p>Clean out gap between tiling and timber floor. Reseal with polyurethane flexible sealant as per Sikaflex FC11 (white). Refer to <b>AD110-303</b> for areas.</p> <p>NB: Sealant application not to take place at shower duck-board</p>
M229		
		Make neat tiling in bathroom and en-suite. Clean mould off grout, regrout at degraded application (to match existing).
M230	SERVICE BATHROOM & EN-SUITE SLIDING DOORS	X2 (x2 leafs p/door)
		<p>Service complete door system incl. sliding mechanisms, locking mechanisms, replace seals.</p> <p>NB:</p> <ul style="list-style-type: none"> <li>• Make good face plate, striker plate and lock – ensure flush with side of door stile</li> <li>• Ensure leafs slide readily</li> <li>• Finish to match existing</li> </ul>





M231	BATHROOM FLOOR	Quantify on site
		<p>Sand down to raw timber, repair water damage, make good where door has been catching on floor, reseal timberwork as per <b>Annexure xx</b>. Refer to <b>AD110-303</b> for area.</p>
M232	BATHROOM FRONT DOOR	X1
		<p>Make good door – scrapes against floor, reinstall striker plate, make good rust and replace missing screws (stainless steel).</p>
M233	BEDROOM 2 FRONT DOOR	X1
		<p>Make good door – scrapes against floor. Make neat at entrance door, make good rust and replace missing screws (stainless steel). Make neat at face &amp; striker plates.</p>





M234	SERVICE BEDROOM 2 SLIDING DOOR	X1 (x2 leafs)
		<p>Service complete door system incl. sliding mechanisms, locking mechanisms, replace seals.</p> <p>NB:</p> <ul style="list-style-type: none"> <li>• Make good face plate, striker plate, and lock – ensure flush with side of door stile</li> <li>• Doors struggle to lock, make good</li> <li>• Ensure leafs slide readily</li> <li>• Finish to match existing</li> </ul> <p>Note moisture damage to floor – make good</p>
M235	BEDROOM 2 CLOTHING WALL BOX	
		<p>Make plumb</p>
M236	BEDROOM 1 FRONT DOOR	X1
		<p>Make good door – scrapes against floor. Make neat at entrance door, make good rust and replace missing screws (stainless steel). Make neat at face &amp; striker plates.</p>



M237	SERVICE BEDROOM 1 SLIDING DOOR	X1 (x2 leafs)
		<p>Service complete door system incl. sliding mechanisms, locking mechanisms, replace seals.</p> <p>NB:</p> <ul style="list-style-type: none"> <li>• Make good face plate, striker plate, and lock – ensure flush with side of door stile</li> <li>• Ensure leafs slide readily</li> </ul>
M238	SERVICE BEDROOM 1 SLIDING SASH WINDOW	X1
		<p>Service complete window systems incl. sliding mechanisms, locking mechanisms, replace seals.</p> <p>NB:</p> <ul style="list-style-type: none"> <li>• Make good face plate, strike plates, replace missing pop-rivets</li> <li>• Ensure leafs slide readily</li> </ul>
M239	EN-SUITE DOOR	X1
		<p>Make neat at entrance door, make good rust and replace missing screws (stainless steel). Make neat at face &amp; striker plates.</p>
O5	ROOF EDGING	
		<p>Make good rusting at fixings to edging strip, replace nails with stainless steel equivalent. Ensure seal between fixing and edging strip.</p> <p>Finish as per existing.</p>




**CABIN 1 – ‘Iris’**





ITEM	DESCRIPTION/PHOTO	CORRECTION METHODOLOGY
A27	REMOVE UNUSED GEYSER	X1
		As per A1 & A2.
A28	REMOVE FLOOD LIGHT	X1
		As per A5 & A6 NB: Service fire extinguisher
A29	BATHROOM & EN-SUITE SHOWER PLATFORMS	X2
		As per M4. Refer to <b>Annexure XX</b> .




A30	BATHROOM & EN-SUITE SHOWER ROSES	X2
		As per A8.
M240	REPLACE MISSING LATTE	Quantify on site
		<p>Replace missing latte members. Diameter to match existing as close as possible.</p> <p>Make good all latte 'panels'.</p>
M241	SOLAR GEYSER & ENCLOSURE	X1
	 	<p>As per A3.</p> <p>Replace missing and loose latte members. Ensure panels can be removed readily for repair work.</p>




M242	EXTERIOR LIGHT SWITCH	X1
		<p>Replace damaged box. Ensure each switch circuit is in working order. Clean surfaces. replace adjacent splitting latte.</p>
M243	SOFFIT & EAVES REPAIR	Quantify on site
	  	<p>Sand down ply soffits, reseal as per finishing schedule <b>Annexure XX</b>. Replace to match existing where water damage is extensive (i.e. second image). Make good all external timber beading &amp; seal as per previous.</p>





M244	FASCIA & BARGE BOARD REPAIRS	At least x3 boards
		<p>Sand down fascias &amp; barge boards to raw timber, reseal as per finishing schedule <b>Annexure XX</b>.</p>
M245	ENTRANCE GATE	X1
		<p>Replace gate as per existing dimensions. Include cross-bracing and 'lock-rail'. Replace hinges with like – add a third one. Replace splitting cross member of 'frame' above.</p> <p>Replace cabin hook with stainless steel equivalent – incl. screws.</p>



M246		Quantify on site
		<p>Sand down and make good all water damaged external beams and posts. Remove sealant, specialist to advise on corrective measures. Refer to <b>AD110-301</b>, <b>AD110-302</b> for area.</p>
M247	EXTERNAL DECKING	Quantify on site
		<p>Sand down and make good external decking. Seal as per finishing schedule <b>Annexure XX</b>. Ensure fixings are not compromised and edge conditions are level. Refer to <b>AD110-300</b> for area.</p>
M248	SEATING PLATFORM	X1
		<p>Sand down and make good timber at seating adjacent to braai area – unstable in its current condition. Seal as per finishing schedule <b>Annexure XX</b>.</p> <p>Approx. 1.75m² total.</p>
M249	CHAIN HOPPERS	X1
		<p>Replace missing chain hopper funnels, secure those which are loose. Ensure colours to match existing and make good all rust.</p> <p>NB: Clear out all plant matter</p>



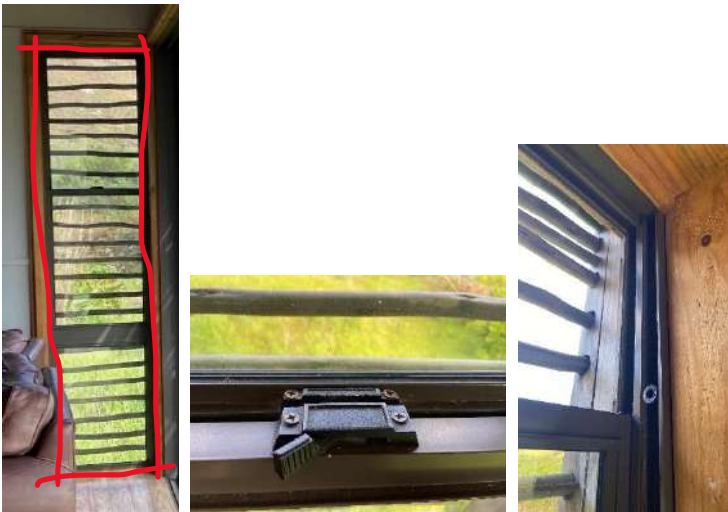
M250	RUSTING BRACING	X1
		Make good rust on bracing, fasteners, and central disc.
M251	ECO-TOWER DOOR BARREL BOLT	X1
		Replace door barrel bolt with stainless steel equivalent.
M252	ECO-TOWER DOOR HINGES	X3
		Make good rust. Rehang door and realign to compensate for timber warpage. Sand down timber and reseal to match existing.
M253		X2
		As per M8

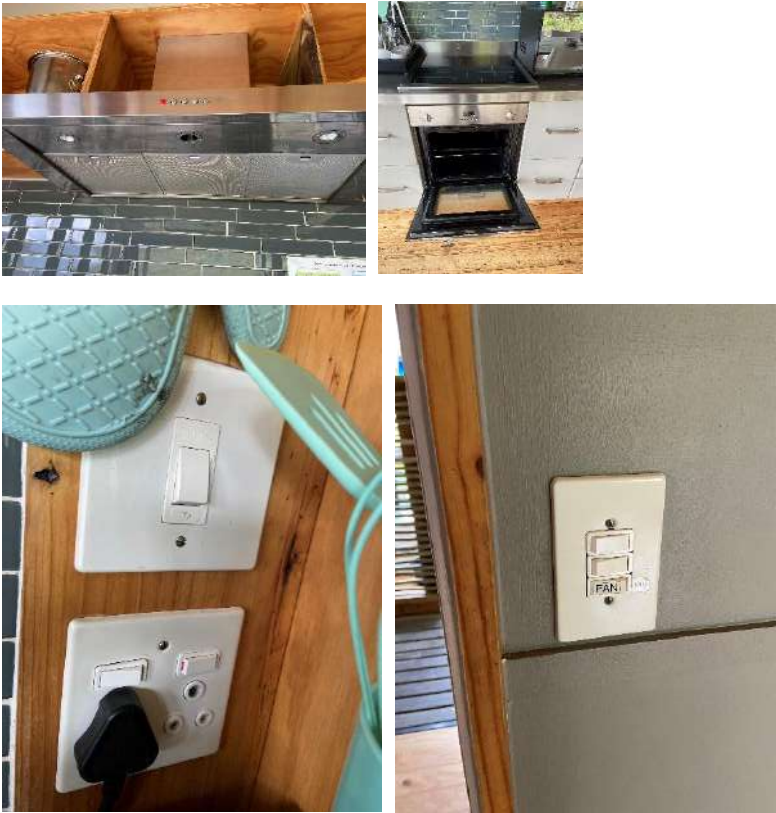

M254		X2
		<p>As per M8</p> <p>NB: Make good rust on clamp &amp; remove debris</p>
M255		X1
	 	<p>As per M3, M4</p>
M256	TIGHTEN CABLES	ALL – APPROX. X56 individual cables
	  	<p>Tighten all balustrade cables to same tension. Ensure all turnbuckle fasteners are in good working order. Make good rusting components.</p> <p>NB: Make good/secure any loose posts.</p>




M257	GREEN ROOFS – PITCHED ROOF	IMPORTANT
		<p>Refill compartments with soil, look into using hessian soil blanket to enable soil retention – specialist to advise. Transplant existing species and add as needed with like plant species.</p> <p>Remove irrigation entirely as it is not in use or service roof irrigation, relay piping or.</p> <p>NB: Get pricing to match the Mbali Collection's tray system as an alternative.</p>
M258	GREEN ROOFS – FLAT	IMPORTANT
		<p>Weed compartments.</p> <p>Remove irrigation entirely as it is not in use or service roof irrigation, relay piping or.</p> <p>NB: Get pricing to match the Mbali Collection's tray system as an alternative.</p>
M259	SOLAR (GEYSER) PANELS	X3
		<p>See A2. Make good all connections, ensure rubberised components are not sun damaged, replace parts as needed.</p>



M260	WATERPROOFING OF ECO-POD	
		Make good degraded torch-on waterproofing at eco-pod.
M261	EXTERNAL LIGHT FIXTURE	X1
		As per M243.  Make good light fixture, treat rust on fixture and water damage at base of connection to soffit.
M262	KITCHEN/DINING INTERNAL FLOORS	
		Sand down to raw timber, repair water damage, reseal timberwork as per <b>Annexure xx</b> . Refer to <b>AD110-300</b> for area.
M263	KITCHEN/DINING INTERNAL FLOORS - FIREPLACE	
		As per M2




M264	FIREPLACE	X1
		<p>As per M1.</p> <p>NB: Handle is broken. Damage to ceiling – make good. Ensure seal around ceiling is in working order.</p>
M265	SERVICE KITCHEN/DINING FOLDING STACKING DOORS	X1 (x5 panels)
		<p>Service complete door system incl. sliding mechanisms, locking mechanisms, replace seals.</p> <p>NB:</p> <ul style="list-style-type: none"> <li>• Door catch has failed etc.</li> <li>• Ensure stacking leafs locking catches lock from the same direction.</li> <li>• Doors scrape against decking.</li> </ul> <p>Repair damaged finish to match existing</p>



M266	SERVICE GABLE GLAZING	X2
		<p>Clean and service bottom hung windows within gable ends (x2). Replace seals if required.</p>
M267	SERVICE KITCHEN/DINING SLIDING DOORS	X1 (x3 leaves)
		<p>Service complete door system incl. sliding mechanisms, locking mechanisms, replace seals.</p> <p>NB:</p> <ul style="list-style-type: none"> <li>• Make good face plate, striker plate, and lock – ensure flush with side of door stile</li> <li>• Ensure leafs slide readily</li> <li>• Replace cracked pane of glass – to match existing type</li> <li>• Finish to match existing</li> </ul>
M268	SERVICE SLIDING SASH WINDOWS	X1
		<p>Service complete window systems incl. sliding mechanisms, locking mechanisms, replace seals.</p> <p>NB:</p> <ul style="list-style-type: none"> <li>• Make good face plate, strike plates, replace missing pop-rivets</li> <li>• Ensure leafs slide readily</li> <li>• Repair damaged finish to match existing</li> </ul>




M269	ELECTRICAL & FIXTURES	 <ul style="list-style-type: none"> <li>• Light points and electrical sockets in working order – <b>excepting see below points</b>. Ensure that each switch turns on in the same direction <ul style="list-style-type: none"> <li>- Switch of plug points adjacent microwave not in working order</li> <li>- Bathroom light switch not in working order</li> <li>- En-suite extractor fan switch not in working order</li> </ul> </li> <li>• Service oven – check respective seals, control gauge <ul style="list-style-type: none"> <li>- Control gauge not in working order</li> <li>- Internal light not in working order</li> </ul> </li> <li>• Service stove top</li> <li>• Service extractor unit – check respective seals, filters, control panels <ul style="list-style-type: none"> <li>- Replace lights not in working order</li> </ul> </li> <li>• Ties into ensuring each light is of 3000K</li> <li>• See A6 – x1 to replace</li> <li>• See A7</li> </ul>
M270	WATER FILTER	 <p>Service water filter system, ensure flow rate is working correctly.</p> <p>NB: Ensure the below-sink plug point is installed as per regulations and is connected to the earth leakage supply.</p>

M271		
		<p>Sand down interior of carcasses to remove water damage. Reseal as per <b>Annexure xx</b>.</p> <p>Ensure seals of waste and trap are in working order of sink above.</p>
M272		
		<p>Remove grout from and seal gap between timber and tiles with polyurethane flexible sealant as per Sikaflex FC11 (white).</p>
M273		
		<p>Clean out gap between stainless steel and tiling and timber side members, reseal with polyurethane flexible sealant as per Sikaflex 11FC (white).</p> <p>Clean grout, refill gaps between tiling where required. Colour to match existing.</p>

M274	DRAWER RUNNERS	X16 (8 pairs)
		<p>Replace all drawer runners with heavy duty extension runners &amp; soft closers.</p> <p>Service door hinges and add soft closers to doors of kitchenette unit (x3).</p> <p>NB: Note drawer fronts which are clashing, make good</p>
M275	DRAWER/DOOR FRONTS	X10 Surfaces
		<p>Sand down and respray all drawer fronts and cupboard doors. Colour to match existing as per <b>Annexure xx</b>.</p>

M276	KITCHENETTE KICKPLATE	
		Sand down to raw timber, repair water damage, reseal timberwork as per <b>Annexure xx</b> .
M277	BATHROOM VANITIES	X2
		Make good vanities in bathroom and en-suite, sand down to raw timber, reseal as per <b>Annexure xx</b> . Reseal around perimeter at tile-timber junction with polyurethane flexible sealant as per Sikaflex 11FC (white)..
M278	BATHROOM VANITIES' SUBSTRUCTURE	X2
		Make good substructure, ensure members are level, sand down, make good at tile juncture & seal with polyurethane flexible sealant as per Sikaflex 11FC (white).

M279	BATHROOM & EN-SUITE SKIRTING JUNCTURES	
		<p>Clean out gap between tiling and timber floor. Reseal with polyurethane flexible sealant as per Sikaflex 11FC (white). Refer to <b>AD110-300</b> for areas.</p> <p>NB: Sealant application not to take place at shower duck-board</p>
M280	TILING	
		<p>Make neat tiling in bathroom and en-suite. Clean grout from mould, regROUT at degraded application (to match existing).</p>

M281	SERVICE BATHROOM & EN-SUITE SLIDING DOORS	X2 (x2 leafs p/door)
		<p>Service complete door system incl. sliding mechanisms, locking mechanisms, replace seals.</p> <p>NB:</p> <ul style="list-style-type: none"> <li>• Make good face plate, striker plate and lock – ensure flush with side of door stile</li> <li>• Ensure leafs slide readily</li> </ul>
M282	BATHROOM, EN-SUITE, BEDROOM 1 & 2 FRONT DOORS	X3
		<p>Make neat at doors, reinstall striker plate, replace missing screws (stainless steel).</p> <p>Ensure all screws are the same.</p> <p>Make neat threshold plate.</p> <p>Door scraping against floor, make good.</p>
M283	BEDROOM 2 SLIDING DOOR	X1 (x2 leafs)
		<p>Service complete door system incl. sliding mechanisms, locking mechanisms, replace seals.</p> <p>NB:</p> <ul style="list-style-type: none"> <li>• Make good face plate, striker plate, and lock – ensure flush with side of door stile</li> <li>• Ensure leafs slide readily</li> <li>• Replace missing pop rivets</li> <li>• Finish to match existing</li> </ul>





O6 ROOF EDGING









Make good rusting at fixings to edging strip, replace nails with stainless steel equivalent. Ensure seal between fixing and edging strip.




Finish as per existing.


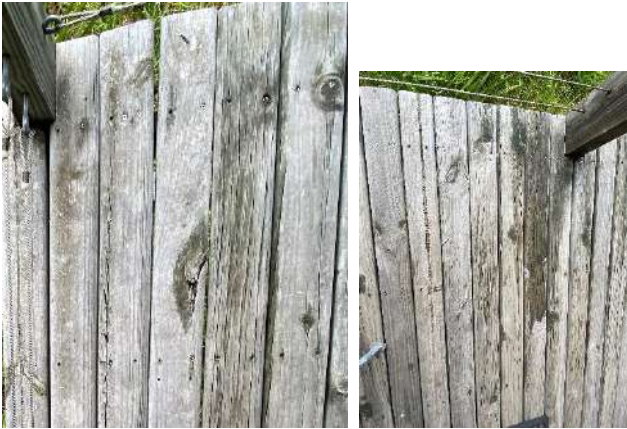


## CABIN 6 – ‘Palmiet Honeymoon Studio’




ITEM	DESCRIPTION/PHOTO	CORRECTION METHODOLOGY
A31	REMOVE UNUSED & REMOVED GEYSER CONNECTIONS	
	 	As per A1, A2. Make neat at prior hot water junction, make good water damage.
A32	REMOVE FLOOD LIGHT	
	 	As per A5




A33	BATHROOM SHOWER PLATFORM	X1
		As per A9. Refer to <b>Annexure XX</b> .
M284	REPLACE MISSING LATTE	Quantify on site
	 	<p>Replace missing latte members. Diameter to match existing as close as possible.</p> <p>Make good all latte 'panels'.</p>




M285	REPLACE MISSING LATTE	Quantify on site
		<p><b>NB: Missing latte at window intentional.</b></p> <p><b>NB: At previous window position, refit and fill with correctly sized latte members.</b></p>
M286	SOLAR GEYSER & ENCLOSURE	X1
		<p>See A2.</p> <p>Replace missing and loose latte members. Ensure panels can be removed readily for repair work.</p>
M287	EXTERIOR LIGHT SWITCH	X1
		<p>Ensure each switch circuit is in working order. Clean surfaces. Make good adjacent latte.</p>



M288	SOFFIT & EAVES REPAIR	Quantify on site
		<p>Sand down ply soffits, reseal as per finishing schedule <b>Annexure XX</b>. Replace to match existing where water damage is extensive. Make good all external timber beading &amp; seal as per previous.</p>
M289		
		<p>Conceal visible cable. If unused remove – adjacent bathroom exterior window.</p>
M290		Quantify on site
		<p>Sand down and make good all water damaged external beams and posts.</p>


M291	EXTERNAL DECKING	Quantify on site
	 	<p>Sand down and make good external decking. Seal as per finishing schedule <b>Annexure XX</b>. Ensure fixings are not compromised and edge conditions are level. Refer to <b>AD110-315</b> for area.</p>
M292	SEATING & BRAAI PREP. PLATFORMS	X2
	 	<p>Sand down and make good timber at seating adjacent to braai area – unstable in its current condition. Seal as per finishing schedule <b>Annexure XX</b>.</p> <p>Approx. 2m<sup>2</sup> total.</p>




M293	CHAIN HOPPER	X1
		Replace missing chain hopper funnels, secure those which are loose. Ensure colours to match existing and make good all rust.
M294	RUSTING BRACING	X2
		Make good rust on bracing, fasteners, and central disc.
M295	ECO-TOWER DOORS BARREL BOLTS	X8
		<p>Replace door barrel bolt with stainless steel equivalents. Make good door frames – bowing and do not close readily. Make good at floor plates for lower bolts.</p> <p>NB: Both top and bottom</p>




M296	ECO-TOWER DOOR HINGES	X12
		<p>Make good rust. Rehang door and realign to compensate for timber warpage. Sand down timber and reseal to match existing.</p>
M297		X1
		<p>Sand down to raw, consistent timber, repair water damage, reseal timberwork as per <b>Annexure xx</b>. Refer to <b>AD110-315</b>, <b>AD110-316</b>, <b>AD110-317</b>, <b>AD110-318</b> for area.</p>
M298		X1
		<p>Make good at leak.</p>




M299		X1
		Make good at leak.
M300		X1
		Make neat water piping – plumb and level in the corresponding areas.
M301		X1
		As per M3, M4







M302	TIGHTEN CABLES	ALL – APPROX. X51 individual cables
		<p>Tighten all balustrade cables to same tension. Ensure all turnbuckle fasteners are in good working order. Make good rusting components.</p>
M303	BALUSTRADING	Quantify on site
		<p>Sand down railing and posts to raw timber, reseal as per <b>Annexure xx</b>.</p>



M304		X6
		Make good unaligned 'bracket post' pins – at intermediary posts. Eng. to advise.
M305		CRITICAL
		As per A1, M6. Specialist to look into fly and smell (interior of bathroom) issue. The Palmiet Honeymoon Suite has more of a problem than the other cabins in this regard.
M306		X2
		As per M8 NB: Make good rust on clamp & remove debris









M307		
		Make neat nails to latte walkway 'roof'-specifically adjacent braai area.
M308	GREEN ROOFS – PITCHED ROOF	IMPORTANT
		<p>Refill compartments with soil, look into using hessian soil blanket to enable soil retention – specialist to advise. Transplant existing species and add as needed with like plant species.</p> <p>Remove irrigation entirely as it is not in use or service roof irrigation, relay piping or.</p> <p>NB: Get pricing to match the Mbali Collection's tray system as an alternative.</p>
M309	GREEN ROOFS – FLAT	IMPORTANT
		<p>Weed trays.</p> <p>Remove irrigation entirely as it is not in use or service roof irrigation, relay piping or.</p> <p>NB: Get pricing to match the Mbali Collection's tray system as an alternative.</p>






M310	SOLAR (GEYSER) PANELS	X3
		See A3. Make good all connections, ensure rubberised components are un-sun damaged, replace parts as needed.
M311	GUTTERS	
	 	Remove plant matter and debris from drainpipes. Repair any resulting moisture damage from overflow.

M312	ENTRANCE GATE	X1
		<p>Make good entrance gate. Ensure barrel bolt is level.</p>
M313	SERVICE GATE	X1
		<p>Make service gate. Replace barrel bolt with stainless steel equivalent.</p>
M314	LIVING SPACE INTERNAL FLOORS	
		<p>Sand down to raw timber, repair water damage, reseal timberwork as per <b>Annexure xx</b>. Refer to AD110-315 for area.</p>

M315	KITCHEN/DINING INTERNAL FLOORS - FIREPLACE	
	 	As per M2
M316	FIREPLACE	X1
	   	<p>As per M1.</p> <p>NB: Handle is broken. Damage to ceiling – make good. Ensure seal around ceiling is in working order.</p>

M317	SERVICE GABLE GLAZING	X2
<div></div>		Clean and service bottom hung windows within gable ends (x2). Replace seals if required.

M318	SERVICE LIVING SPACES' SLIDING DOORS	X3 (x3 leafs p/door for 2, x4 leafs for 1)
	       	<p>Service complete door system incl. sliding mechanisms, locking mechanisms, replace seals.</p> <p>NB:</p> <ul style="list-style-type: none"> <li>• Make good face plate, striker plate, and lock – ensure flush with side of door stile</li> <li>• Ensure leafs slide readily</li> <li>• Replace cracked pane of glass – to match existing type</li> <li>• In instances of missing pop-rivets - replace</li> <li>• Finish to match existing</li> </ul>

M319	SERVICE SLIDING SASH WINDOWS	X1
		<p>Service complete window systems incl. sliding mechanisms, locking mechanisms, replace seals.</p> <p>NB:</p> <ul style="list-style-type: none"> <li>• Make good face plate, strike plates, replace missing pop-rivets</li> <li>• Ensure leafs slide readily</li> <li>• Repair damaged finish to match existing</li> </ul>
M320	ELECTRICAL & FIXTURES	
	   	<ul style="list-style-type: none"> <li>• Light points and electrical sockets in working order – <b>excepting see below points</b>. Ensure that each switch turns on in the same direction <ul style="list-style-type: none"> <li>- See following <b>M321, 322, 323</b></li> <li>- Bathroom light switch not in working order</li> <li>- See <b>M340, 341</b> regarding bathroom LED strip</li> <li>- Replace all downlight bulbs with corresponding 3000K LED bulbs</li> </ul> </li> <li>• New oven – check respective seals, control gauge</li> <li>• Service stove top (potential to replace with model and make corresponding to the new oven – price)</li> <li>• Service extractor unit – check respective seals, filters, control panels <ul style="list-style-type: none"> <li>- Replace lights not in working order</li> </ul> </li> <li>• Ties into ensuring each light is of 3000K</li> <li>• See A6 – x3 to replace</li> </ul>

M321	WATER FILTER	
		<p>Service water filter system, ensure flow rate is working correctly.</p> <p>NB: Ensure the below-sink plug point is installed as per regulations and is connected to the earth leakage supply.</p>
M322	FLOOR PLUG BOXES	X2
		<p>Make good electrical floor boxes, replace broken/damaged components. Ensure all plug points are in working order.</p>
M323	ELECTRICAL SWITCHES	X5, X1 Multiplug
		<p>Ensure all plug point covers are of the same type. Ensure each is level and on the same plane.</p>
M324		
		<p>Make good tall shelving unit</p>

M325 KITCHEN CUPBOARD








Make good kitchen cabinette. Service door hinges and add soft closers to doors of kitchenette unit (x3).




NB: Note drawer fronts which are clashing make good.




Sand down and respray all cupboard doors (x4). Colour to match existing as per **Annexure xx**.



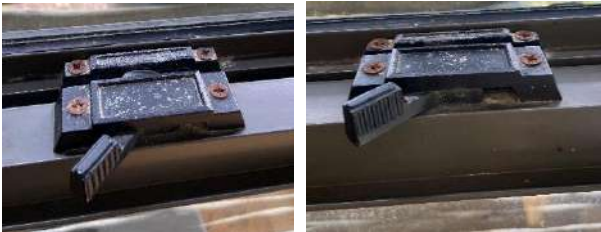






M326	BATHROOM VANITY	X1
		<p>Make good vanity in bathroom, sand down to raw timber, reseal as per <b>Annexure xx</b>. Reseal around perimeter at tile-timber junction with polyurethane flexible sealant as per Sikaflex 11FC (white).<b>xx</b>.</p>
M327	BATHROOM VANITY SUBSTRUCTURE	X1
		<p>Make good substructure, ensure members are level, sand down, make good at tile juncture &amp; seal with polyurethane flexible sealant as per Sikaflex 11FC (white). Paint underside of timber vertical members.</p> <p>NB: Make good trap connection to basin outlet.</p>

M328	VANITY FAUCETS	X1 PAIR
		Make good beginnings of corrosion on faucets.
M329	VANITY SPOUT	X1
		Make good, secure vanity spout – ensure centred to basin and is secure.
M330	BATHROOM SKIRTING & BATH JUNCTURES	
		<p>Sand down skirtings to raw timber, repair moisture damage, reseal timberwork as per <b>Annexure xx</b>. Clean out gap between tiling and timber skirtings. Reseal with polyurethane flexible sealant as per Sikaflex 11FC (white). Refer to <b>AD110-315</b> for areas.</p> <p>NB: Sealant application not to take place at shower duck-board</p>

M331	BATHROOM FLOOR	
		<p>Sand down to raw timber, repair water damage, reseal timberwork as per <b>Annexure xx</b>. Refer to <b>AD110-315</b> for areas.</p>
M332	TILING	
		<p>Make neat, clean grout of tiling.</p>
M333	SHOWER ROSE	
		<p>Make near, secure shower rose.</p>

M334	BATHROOM CEILING	
		Make neat cornice conditions – note ceiling condition = make good.
M335	BATHROOM CORNICES	
		Make neat cornice conditions.
M336	BATH TO WALL SEAL	
		Clean out gap between tiling and bathtub. Reseal with polyurethane flexible sealant as per Sikaflex 11FC (white).

M337	BATHTUB	
		Make good at bathtub – does not fully drain.
M338	SERVICE SLIDING SASH WINDOWS	X2
	 	<p>Service complete window systems incl. sliding mechanisms, locking mechanisms, replace seals.</p> <p>NB:</p> <ul style="list-style-type: none"> <li>• Make good face plate, strike plates, replace missing pop-rivets</li> <li>• Ensure leafs slide readily</li> <li>• Repair damaged finish to match existing</li> </ul>
M339	SERVICE PICTURE WINDOW	X1
		<p>Service complete window, replace seals.</p> <p>NB:</p> <ul style="list-style-type: none"> <li>• Repair damaged finish to match existing</li> </ul>

M340	LED HOUSING	
		Make good at LED housing. See drawing as per <b>Annexure xx</b> .
M341	LED DRIVER	
		Replace LED driver housing with one that is discreet.
M342	BATHROOM DOOR	X1
		<p>Make neat at doors, reinstall striker plate, replace missing screws (stainless steel).</p> <p>Ensure all screws are the same.</p> <p>Make neat threshold plate.</p> <p>Door scraping against floor, make good.</p>

**O7 ROOF EDGING**





Make good rusting at fixings to edging strip, replace nails with stainless steel equivalent. Ensure seal between fixing and edging strip. Ensure all corners meet as a butt joint.

Finish as per existing.

## PARKING STRUCTURE

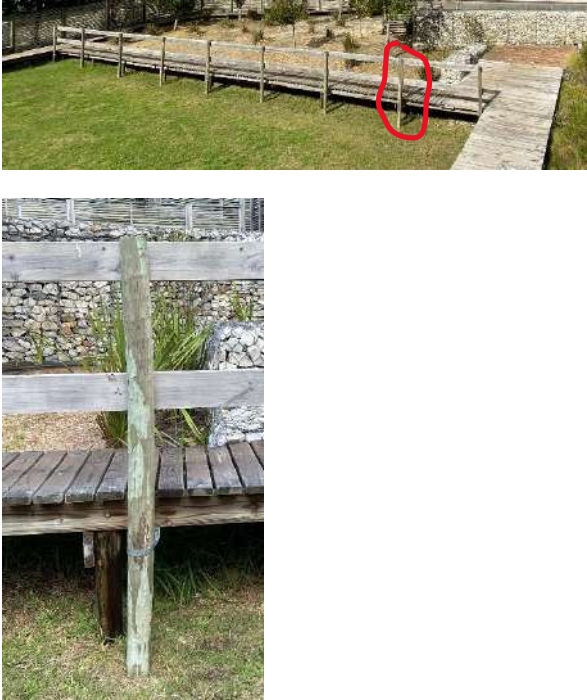

ITEM	DESCRIPTION/PHOTO	CORRECTION METHODOLOGY
A34	DEMOLISH PREFAB STORAGE UNIT	IMPORTANT
		<p>Demolish prefab structure, move storage aspects to undercover space within parking structure – see point below. Build a weatherproof facility within to take over storage. Windows can be reused within new volume.</p> <p>NB: Ensure brick steps are removed</p> <p>Unit detracts from the natural environment. In addition it is one of the first structures one sees as it is located adjacent to the primary entrance of the Oudebosch complex.</p>
A35	CONVERT TO STORAGE UNIT	IMPORTANT
		<p>Structure to be weatherproofed within in order to take place of storage unit.</p> <p>See <b>Annexure xx</b> as diagrammatic example.</p>


M343	REPLACE MISSING/BROKEN LATTE	Quantify on site
		<p>Replace missing latte members. Diameter to match existing as close as possible.</p> <p>Make good all latte 'panels'.</p>
M344	EXTERIOR LIGHT SWITCH	X1
		<p>Ensure switch circuit is in working order. Clean surfaces. Make good adjacent latte.</p>
M345	SENSORS	Quantify on site (for parking structure at least X2)
		<p>Replace sensors with durable model – specialist to provide options.</p>


M346	SENSORS CONT.	Quantify on site (for parking structure at least X2)
		Replace sensors with durable model – specialist to provide options.
M347	SOFFIT REPAIR	
		<p>Sand down ply soffits, reseal as per finishing schedule <b>Annexure XX</b>. Replace to match existing where water damage is extensive. Make good all external timber beading &amp; seal as per previous.</p> <p><b>NB: Clean roof surface above from all debris - critical.</b></p>

## WALKWAY & BOARDWALKS

ITEM	DESCRIPTION/PHOTO	CORRECTION METHODOLOGY
M348	REPLACE MISSING/BROKEN LATTE	Quantify on site (approx. 20+)
		<p>Replace missing latte members. Diameter to match existing as close as possible.</p>
M349		X9
		<p>Make neat tie-straps.</p>

M350		X1
		<p>Replace bowed gumpoles – use same diameter and height.</p>
M351		
		<p>Make good timber balustrading.</p>



M352	REPLACE TIMBER TREADS	Quantify on site
	     	<p>Replace all broken timber treads – ensure same timber &amp; dimensioned lumber is used. Finish as per original.</p>



M353	BURY EXPOSED SERVICES	
	 	As per M9. Conceal and make neat.
M354	POOL STEPS & BALUSTRADE	
	 	Make good and stable steps to pool incl. balustrading.

M355	SENSORS	Quantify on site (approx. X8 incl. X1 p/cabin walkway)
		<p>Replace sensors with durable model – specialist to provide options.</p>
M356	FOOTLIGHTS	Verify on site including at cabins (approx. 17 on site, approx. 15 at cabins)
	  	<p>Ensure each light fitting gets serviced, remove the remaining patterned diffusers (of which approx. 16 still have theirs). Replace the fitting within the housing (GU10 type holder), ensure the wiring is up to date and compliant.</p> <p>Ensure the bulbs are as per the following –</p> <p>Lamp Type: LED          Colour Temp.: 3000K          Type: GU10          Ø: 50mm</p> <p>NB: See that they are rechargeable for use during load shedding</p> <p>Example for look as per below –</p>  <p>Ensure that the flat surface of the bulbs are below the level of the light fixture rim. Flat surface selected to reduce the possibility of breakage as has been the case with some of the globe types currently in use.</p> <p><i>Note diffusers to be removed – examples on a few of the images</i></p>

## WATER RESERVOIR YARD AND ASSOCIATED TANKS

ITEM	DESCRIPTION/PHOTO	CORRECTION METHODOLOGY
M357	WATER SUPPLY SOURCE	CRITICAL
		<p>Ensure water supply no longer comes from spring. Ensure supply from water reservoir(s) is reintroduced and brought back into service. <u>Fix pump required for this to be actioned.</u></p> <p>Service equipment, pumps, valves, seals, and associated supply piping. Make good leaks (if any).</p> <p>Eng. to advise.</p>
M358	RESERVOIR LEAK	CRITICAL
		<p>Make good leak originating from reservoir. Service valves, seals, and associated supply piping.</p> <p>Eng. to advise.</p>

M359	RESERVOIR TANK	IMPORTANT
		<p>Make good efflorescence and any cracking. Refinish as per specialist.</p> <p>Eng. to advise.</p>
M360	GENERATOR STORE	X1
		<p>Roof sheeting incorrectly installed – orientation of ribs to be towards the fall.</p> <p>NB: Check generator installation is as per regulations and fire safety standards.</p>

M361	REPLACE MISSING LATTE of SCREEN	Quantify on site
		<p>Replace splitting and missing latte members. Diameter to match existing as close as possible.</p> <p>Make good all latte 'panels' &amp; loose members.</p>
M362	REPAIR LATTE SCREEN	Quantify on site
		<p>Make good all instances requiring corrective work.</p>

M363	SERVICE EQUIPMENT	
	 	<p>As per Mxxx - Service equipment, pumps, valves, seals, and associated supply piping. Make good leaks (if any).</p>
A36	SERVICE EQUIPMENT CONT.	
		<p>Make good, neat.</p>

NOTES:

QS Ref	Arch Ref	Description	Unit	Quantity	Rate	Amount
<b>A</b>		<b>Preliminaries</b>				<b>R -</b>
<b>A.1</b>		<b>Preliminaries</b>				
		Preliminaries (Pricing for this section is deemed to include all preliminaries including everything to cover the Contractor's direct costs, overheads, profit and expenses required for all risks, liabilities and obligations in terms of this contract).	Item	1		R -
<b>B</b>		<b>GENERAL</b>				<b>R -</b>
<b>B.1</b>	<b>A1</b>	<b>REMOVE UNUSED GEYSERS</b>				
		Take out and remove unused geysers from service storage units of all cabins, including	No.			Included under cabins
		Make good and remove all wiring/electrical/plumbing components not in use, including blanking off and make safe.	No.			Included under cabins
<b>B.2</b>	<b>A2</b>	<b>CONNECT GEYSERS TO SOLAR PANELS</b>				
		Connect and make good all solar geysers to corresponding solar panels. Ensure solar panels are in working order and are well within their respective service life. Ensure timber panels are removeable – utilise wingnuts to fasten.	No.			Included under cabins
		SPECIFICATIONS AND INSTALLATION METHODOLOGY TO BE PROVIDED BY 3 SPECIALIST SUB CONTRACTORS.	Note			Included under cabins
<b>B.3</b>	<b>A3</b>	<b>LIGHTING FIXTURES</b>				
		All light fittings to contain corresponding LED bulbs of 3000 K. All bulbs are to remain as such when requiring replacement.	Note			Included under cabins
<b>B.4</b>	<b>A4</b>	<b>HINGE COVER CAPS</b>				
		Replace missing hinge cover caps for folding stacking doors. (x1 p/cabin excl. Honeymoon)	No.			Included under cabins
<b>B.5</b>	<b>A5</b>	<b>REMOVE EXTERNAL FLOOD LIGHTS AND RELATED CONDUITS/WIRING</b>				
		Remove flood lights overlooking braai area from each cabin, including blanking off and make safe.	No.			Included under cabins
		Remove all external conduits from walls, repair and fill resulting holes. Paint to match existing – full coats on wall with required undercoat.	m <sup>2</sup>			Included under cabins
		Remove light switch for floodlight, close cavity and make good all surrounding surfaces.	No.			Included under cabins
<b>B.6</b>	<b>A6</b>	<b>REPLACE LIGHT FIXTURES</b>				
		Replace cabin light fixtures adjacent bathroom with Spazio 'Alcor Round 1L' 4531.4.30. Ensure LED bulb is of 3000 K.	No.			Included under cabins
<b>B.7</b>	<b>A7</b>	<b>REPLACE LED STRIP LIGHTS</b>				
		Replace LED strips in bathrooms to ensure they run the full length of their respective walls. Approx. lengths of 3500mm & 2400mm p/wall respectively (x2 p/cabin, x1 p/honeymoon)	m			Included under cabins
		Replace LED driver with discrete model to conceal behind 'perimeter pelmet'. Ensure colour temp. of 3000K	No.			Included under cabins

QS Ref	Arch Ref	Description	Unit	Quantity	Rate	Amount
<b>B.8</b>	<b>A8</b>	<b>REPLACE SHOWER ROSES</b>				
		Replace all existing shower roses with the COBRA 'Zambezi Round Single Function Shower' FSWHR1BN-0GT0156. (excl. Honeymoon)	No.			Included under cabins
		Additional components req. COBRA 'Zambezi Shower Arm 331mm' FSA0A2GN-0GT0150	No.			Included under cabins
		NB: Centre new shower rose arm to NEW replacement timber panel (sealed to match current panel to be replaced).				
<b>B.9</b>	<b>A9</b>	<b>SHOWER DUCKBOARD DECKING</b>				
		Reconstruct shower decking and glass enclosures as per drawing AD 110-660/661 and SC004 Finishes Schedule:	Note			Included under cabins
		Decks sand down and sealed with penetrating oil	m <sup>2</sup>			Included under cabins
		Shower trays to be cleaned thoroughly, make good any water damage	No.			Included under cabins
		Drains to be cleaned thoroughly, make good any water damage	No.			Included under cabins
		Ensure that the decks can be lifted for cleaning purposes	Note			Included under cabins
<b>B.10</b>	<b>M1</b>	<b>FIREPLACE MAINTENANCE (CRITICAL)</b>				
		All fireplaces and chimneys to be fully serviced, including the following (NB: Make good all rust and material degradation):	Note			Included under cabins
		Fireplaces, steel plinth and backplate to be sanded and prepped for paint, and resprayed with heat resistant black paint as per fireplace manufacturer's recommendation and spec.	No.			Included under cabins
		Flues to be sanded and prepped for paint, and resprayed with heat resistant black paint as per fireplace manufacturer's recommendation and spec.	m <sup>2</sup>			Included under cabins
		Make good internal workings and finishes of fireplace incl. grate.	No.			Included under cabins
		Service door hinges and closure mechanisms	No.			Included under cabins
		Flues to be cleared and cleaned to ensure good draw	No.			Included under cabins
		Spark arrestors to be checked to ensure that they are all still operational	No.			Included under cabins
<b>B.11</b>	<b>M2</b>	<b>FLOOR DAMAGE AT FIRE PLACES</b>				
		Make good ember damage to timber floors adjacent fireplaces.	Note			Included under cabins
		Sand down to raw timber, repair water damage, make good ember damage at fireplace, reseal timberwork as per SC004 Finishes schedule. Approx. area impacted = ±1.5m <sup>2</sup> p/cabin	m <sup>2</sup>			Included under cabins

QS Ref	Arch Ref	Description	Unit	Quantity	Rate	Amount
<b>B.12</b>	<b>M3</b>	<b>BRAAI PLACE MAINTENANCE</b>				
		All braai places to be fully serviced, including the following (NB: Make good all rust and material degradation):	Note			Included under cabins
		Braais are to be sanded and prepped for paint, and resprayed with heat resistant black paint as per braai manufacturer's recommendation and	m <sup>2</sup>			Included under cabins
		Flues to be sanded and prepped for paint, and resprayed with heat resistant black paint as per braai manufacturer's recommendation and spec.	m <sup>2</sup>			Included under cabins
		Make good internal workings and finishes incl. grate and grids – replace where needed.	No.			Included under cabins
		Service door panel hinges and closure mechanisms	No.			Included under cabins
<b>B.13</b>	<b>M4</b>	<b>BRAAI FLUES AND COWLS</b>				
		All flues & cowls to be fully serviced, including the following (NB: Make good all rust and material degradation):	Note			Included under cabins
		Metalwork to be sanded and prepped for paint, and resprayed with black paint as per braai manufacturer's recommendation and spec.	m <sup>2</sup>			Included under cabins
		Flues to be cleared and cleaned to ensure good draw	No.			Included under cabins
		Spark arrestors to be checked to ensure that they are all still operational	No.			Included under cabins
<b>B.14</b>	<b>M5</b>	<b>WC PAN-FLOOR JUNCTION SEAL</b>				
		Clean out gap between timber & wc pan base. Reseal with polyurethane flexible sealant as per Sikaflex 11FC (white).	No.	11		R -
<b>B.15</b>	<b>M6</b>	<b>MIRROR FRAME SEAL</b>				
		Clean out gap between timber and tiling. Reseal with polyurethane flexible sealant as per Sikaflex 11FC (white).	No.	11		R -
<b>B.16</b>	<b>M7</b>	<b>FIRE EQUIPMENT SERVICING (CRITICAL)</b>				
		Service and ensure all hose reels and related mechanisms are in working order.	No.	6		R -
		Service all fire extinguishers.	No.	6		R -
		NB: The current level of vegetation and dry debris around the cabins are a fire hazard in the event of a wildfire.	Item	1		Rate only
<b>B.17</b>	<b>M8</b>	<b>SERVICE ECO-LOO</b>				
		Service eco-loo. Replace and make good all rusted components as per. manufacturer's spec. Remove plant growth. Ensure no leaks are present within.	No.	6		Rate only
		Make good rust on vent piping and extractor fans. Ensure extractor fans are in working order.	No.	6		Rate only
<b>B.18</b>	<b>M9</b>	<b>BURY EXPOSED SERVICES</b>				

QS Ref	Arch Ref	Description	Unit	Quantity	Rate	Amount
		All exposed and surfaced conduiting, plumbing pipes and other service related wiring to be made compliant with relevant installation regulations. Make good, bury to depth as per regulations. Each cabin and area varies p/instance from ±1m to ±7m+. Quantify on site. X6 Cabins, Pool Area, & Walkways	m	14		R -
<b>B.19</b>	<b>M10</b>	<b>REPAIR LEAKING WASTE OUTLETS</b>				
		Ensure all plumbing & waste outlets etc. are draining to mulch basins. Mend all leaks and replace broken connections. NB: Noticed at Marsh Rose and Erica, more cabins may be inadvertently impacted by this type of issue. ±1m p/instance - X2 Cabins – quantify on site	m	2		R -
<b>B.20</b>	<b>O1</b>	<b>ROLLER BLINDS</b>				
		All roller blinds and housings are either in the process of or have begun to show signs of wear-and-tear and will need to be replaced in the near future. Corners are delaminating and cracking is occurring in parts of the plastic coating. We therefore propose that at this stage each cabin gets replacement roller blinds with a fabric – not block out but rather 'dim out' allowing some light in – colour unique to each cabin. Or, reinstitute roman blinds with durable nylon cords and steel dowels instead of wood.	m <sup>2</sup>	374		R -
<b>B.21</b>	<b>M11</b>	<b>SEATING PLATFORMS</b>				
		Sand down and make good. Fasten framework where loose and replace corroded fixings (stainless steel equivalent). Seal as per finishing schedule SC004. Approx. 3m <sup>2</sup> total.	m <sup>2</sup>	25		R -
<b>B.22</b>	<b>M12</b>	<b>REPLACE SWIMMING POOL GATE SPRINGS</b>				
		Replace self-closing gate spring. Ensure spec. is min. 304 stainless steel.	No.	1		R -
<b>B.23</b>	<b>M13</b>	<b>REPLACE AUTOMATIC GATE LATCH</b>				
		Replace automatic gate latch. Ensure spec. is min. 304 stainless steel.	No.	1		R -
<b>B.24</b>	<b>M14</b>	<b>GATE REPAIRS</b>				
		Replace broken & split latte. Make good loose latte slats. Gate stiles, rails, and brace make good. Framework make secure. Replace timber if required. Hinges, make good, sand down rust, replace washers. Replace galv. screws w' stainless steel. Approx. size = 1.3m X 1.2mm	m <sup>2</sup>	3		R -
<b>B.25</b>	<b>M15</b>	<b>LATTE FENCING ENCLOSURE</b>				

QS Ref	Arch Ref	Description	Unit	Quantity	Rate	Amount
		Replace splitting latte members, make good & repair latte supports. Make good timber closure beading. Replace missing latte members. Approx. 5 instances impacted.	m	10		R -
<b>B.26</b>	<b>M16</b>	<b>POOL ENCLOSURE POSTS &amp; BALUSTRADING</b>				
		Replace broken posts (at least x1 instance) and make good/secure, ensure all posts are plumb and balustrading member is level:	Note			
		Approx. dims – 114 x 114 1300mm corner posts, 114 x 38 intermediary posts. Confirm on site.	No.	8		R -
		38 x 114 3500mm Timber railings. Confirm on site.	m	20		R -

QS Ref	Arch Ref	Description	Unit	Quantity	Rate	Amount
B.27	M17	<b>TIGHTEN CABLES</b> Tighten all balustrade cables to same tension. Ensure all turnbuckle fasteners are in good working order. ALL – APPROX. X30 individual cables	m	60		R -
B.28	M18	<b>POOL LADDER</b> Make good all corrosion, clean scale off steps & fixing brackets.	No.	1		R -
B.29	M19	<b>REPLACE POLYCARBONATE SHEETING</b> Replace and make good polycarbonate sheeting within pool pump store. Ensure fall is in place for 'ceiling' sheet to allow for water runoff towards gabion at back. X2	m <sup>2</sup>	4		R -
B.30	M20	<b>SERVICE POOL FILTER</b> Service pool pump, replace damaged seals.	No.	1		R -
B.31	M21	<b>SERVICE PUMP (CRITICAL)</b> Service HONDA GX160. Secure base pavers. Ensure all components are in working order, seals are in good condition, suction hose is clear, debris filter is in place, and one-way valve is operable. Ensure branches and 25mm lay-flat forestry hose lengths are undamaged.	No.	1		R -
B.32	M22	<b>SERVICE ACCESS PANELS</b> Make good pool service area removeable panels/doors. Replace rotting and split timber members. Secure latte. Replace split, missing, and damaged latte. Approx. dims. p/panel (x3 total) – 1200 x 1300	m <sup>2</sup>	5		R -
B.33	M23	<b>SERVICE AREA COVER STRIPS</b> Replace splitting timber – approx. 22x70 @ 1300mm.	m	1.3		R -
B.34	M24	<b>BURY SERVICE PIPES &amp; CONDUITING AT POOL</b> As per point M9, all exposed and surfaced conduiting, plumbing pipes and other service related wiring to be made compliant with relevant installation regulations. Make good, bury to depth as per corresponding regulations.	Item	1		R -

QS Ref	Arch Ref	Description	Unit	Quantity	Rate	Amount
<b>C</b>		<b>CABIN 5: MARSH ROSE</b>				<b>R -</b>
<b>C.1</b>	<b>A10</b>	<b>REMOVE UNUSED GEYSERS</b>				
		Take out and remove unused geysers from service storage unit, including blanking off.	No.	1		R -
		Make good and remove all wiring/electrical/plumbing components not in use, including blanking off and make safe.	No.	1		Incl above
		Connect and make good all solar geysers to corresponding solar panels. Ensure solar panels are in working order and are well within their respective service life. Ensure timber panels are removeable – utilise wingnuts to fasten.	No.	1		R -
		SPECIFICATIONS AND INSTALLATION METHODOLOGY TO BE PROVIDED BY 3 SPECIALIST SUB CONTRACTORS.	Note			
<b>C.2</b>	<b>A11</b>	<b>REMOVE FLOOD LIGHT</b>				
		Remove floodlight overlooking braai area from cabin, including blanking off and make safe.	No.	1		R -
		Take out and remove electrical conduits including disconnect, blanking off and make safe.	m	10		R -
		Repair and fill resulting holes. Paint to match existing – full coats on wall with required undercoat.	m <sup>2</sup>	10		R -
		Remove light switch for floodlight, close cavity and make good all surrounding surfaces.	No.	1		R -
		Replace cabin light fixtures adjacent bathroom with Spazio 'Alcor Round 1L' 4531.4.30. Ensure LED bulb is of 3000 K.	No.	1		R -
		NB: Make good rust on green circled cover plate, finish to match existing. Ensure plate is level once complete.	No.	1		R -
<b>C.3</b>	<b>A12</b>	<b>BATHROOM &amp; EN-SUITE SHOWER ROSES</b>				
		Replace all existing shower roses with the COBRA 'Zambezi Round Single Function Shower' FSWHR1BN-0GT0156.	No.	2		Rate Only
		Additional components req. COBRA 'Zambezi Shower Arm 331mm' FSACA2GN-0GT0150.	No.	2		Rate Only
		NB: Centre new shower rose arm to NEW replacement timber panel (sealed to match current panel to be replaced).				
<b>C.4</b>	<b>A13</b>	<b>BATHROOM &amp; EN-SUITE SHOWER PLATFORMS</b>				
		Reconstruct shower decking and glass enclosures as per drawing AD 110-660/661 and SC004 Finishes schedule:	Note			
		Decks sand down and sealed with penetrating oil	m <sup>2</sup>	6		R -
		Shower trays to be cleaned thoroughly, make good any water damage	No.	2		R -
		Drains to be cleaned thoroughly, make good any water damage	No.	2		R -
		Ensure that the decks can be lifted for cleaning purposes	Note			

QS Ref	Arch Ref	Description	Unit	Quantity	Rate	Amount
<b>C.5</b>	<b>A14</b>	<b>BATHROOM &amp; EN-SUITE LED STRIPS</b> Replace LED strips in bathrooms to ensure they run the full length of their respective walls. Approx. lengths of 3500mm & 2400mm p/wall respectively (x2 p/cabin). Make neat, make level and conceal behind timber cover 'cornice' piece. Replace LED driver with discrete model to conceal behind 'perimeter pelmet'. Ensure colour temp. of 3000K NB: Provide price to replace drivers with smaller, efficient concealable models.	m	11.8		R -
			No.	1		R -
			No.	1		R -
<b>C.6</b>	<b>M25</b>	<b>REPLACE MISSING LATTE</b> Replace missing latte members. Diameter to match existing as close as possible. Make good all latte 'panels'.	m	20		R -
<b>C.7</b>	<b>M26</b>	<b>SOLAR GEYSER &amp; ENCLOSURE</b> See A2/A10 Replace missing and loose latte members. Ensure panels can be removed readily for repair work.	m	10		R -
<b>C.8</b>	<b>M27</b>	<b>GEYSER POD</b> See A2/A10 Mitre fascia board corners. See A2/A10 Make good guttering. NB: All corners require corrective work.	No.	14		R -
			m	40		R -
			Note			
<b>C.9</b>	<b>M28</b>	<b>EXTERIOR LIGHT SWITCH</b> Ensure each switch circuit is in working order. Clean surfaces. Make good adjacent latte.	No.	1		R -
			No.	1		R -
<b>C.10</b>	<b>M29</b>	<b>SOFFIT &amp; EAVES REPAIR</b> Sand down ply soffits, reseal as per finishing schedule SC004. Make good all external timber beading & seal as per previous. Redirect copper water pipe as per line drawn (optional).	m <sup>2</sup>	17.7		R -
			m	59		R -
			m	3		R -
<b>C.11</b>	<b>M30</b>	<b>SOFFIT &amp; EAVES REPAIR CONTINUED</b> Replace to match existing where water damage is extensive.	m <sup>2</sup>	10		R -
<b>C.12</b>	<b>M31</b>	<b>FASCIA &amp; BARGE BOARD REPAIRS</b> Sand down fascias and barge boards to raw timber, reseal as per finishing schedule SC004. At least x 3 boards.	m	63		R -
<b>C.13</b>	<b>M32</b>	<b>BEAMS AND POSTS</b> Sand down and make good all water damaged external beams and posts. Seal as per finishing schedule SC004. Refer to AD110-314 & 313 for area.	m	44.8		R -

QS Ref	Arch Ref	Description	Unit	Quantity	Rate	Amount
C.14	M33	<b>ENTRANCE DECKING</b> Sand down and make good external decking. Seal as per finishing schedule SC004. Replace planking as needed. Refer to AD110-312 for area.	m <sup>2</sup>	20		R -
C.15	M34	<b>EXTERNAL DECKING</b> Sand down and make good external decking. Seal as per finishing schedule SC004. Ensure fixings are not compromised and edge conditions are level. Refer to AD110-312 for area.	m <sup>2</sup>	62		R -
C.16	M35	<b>JOIST</b> Make good bearer joist. Repair split members.	No.	1		R -
C.17	M36	<b>PROTECTION PLATE</b> Clean and make good aluminium diamond plate sheet at braai area. Approx. 600 x 2000mm.	No.	1		R -
C.18	M37	<b>SEATING PLATFORMS</b> Sand down and make good timber at seating adjacent to braai area. Seal as per finishing schedule SC004. Approx. 1.75m <sup>2</sup> total.	m <sup>2</sup>	2		R -
C.19	M38	<b>CHAIN HOPPERS</b> Replace missing chain hopper funnels, secure those which are loose. Ensure colours to match existing and make good all rust. NB: Clear out all plant matter	No.	3		R -
C.20	M39	<b>REPLACE POST</b> Replace warped timber post. Ensure finished condition matches adjacent. Eng. to provide method statement and spec. Seal and finish as per SC004 Finishes schedule.	No.	1		R -
C.21	M40	<b>BURY SERVICE CONDUITS</b> As per M9. Approx. 1m. All exposed and surfaced conduiting, plumbing pipes and other service related wiring to be made compliant with relevant installation regulations. Make good, bury to depth as per regulations. Each cabin and area varies p/instance from ±1m to ±7m+. Quantify on site.	m	3		R -
C.22	M41	<b>RUSTING BRACING</b> Make good rust on bracing, fasteners, and central disc.	No.	1		R -
C.23	M42	<b>ECO-TOWER DOOR BARREL BOLT</b> Replace door barrel bolt with stainless steel equivalent.  For cabin hook in door open position – replace with longer hook (current condition means door pushes against bracing). Style to match existing, replace screws with stainless steel equivalents.	No. No.	1 1		R - R -
C.24	M43	<b>ECO-TOWER DOOR HINGES</b>				

QS Ref	Arch Ref	Description	Unit	Quantity	Rate	Amount
		Make good rust. Rehang door and realign to compensate for timber warpage. Sand down timber and reseal to match existing.	No.	3		R -

QS Ref	Arch Ref	Description	Unit	Quantity	Rate	Amount
C.25	M44	<b>RESECURE AND REPLACE LOOSE LATTE</b> Resecure and replace loose latte within covered area.	No.	1		R -
C.26	M45	<b>UNDERCOVER WALKWAY SOFFIT</b> Sand down and reseal ceiling boards, chipped board to be replaced with equivalent ply board. Seal to match existing as per SC004 Finishes schedule.	m <sup>2</sup>	9		R -
C.27	M46	<b>BRAAI PLACE/FLUE/COWL MAINTENANCE</b> All braai places to be fully serviced, including the following (NB: Make good all rust and material degradation): Braais are to be sanded and prepped for paint, and resprayed with heat resistant black paint as per braai manufacturer's recommendation and Flues to be sanded and prepped for paint, and resprayed with heat resistant black paint as per braai manufacturer's recommendation and spec. Make good internal workings and finishes incl. grate and grids – replace where needed. Service door panel hinges and closure mechanisms All flues & cowls to be fully serviced, including the following (NB: Make good all rust and material degradation): Metalwork to be sanded and prepped for paint, and resprayed with black paint as per braai manufacturer's recommendation and spec. Flues to be cleared and cleaned to ensure good draw Spark arrestors to be checked to ensure that they are all still operational	Item m <sup>2</sup> No. No. No. Note No. No. No.	1 6 1 1 1  1 1 1		R -  Incl above Incl above Incl above Incl above Incl above Incl above Incl above
C.28	M47	<b>GREEN ROOFS – PITCHED ROOF</b> Refill compartments with soil, look into using hessian soil blanket to enable soil retention – specialist to advise. Transplant existing species and add as needed with like plant species. Remove irrigation entirely as it is not in use or service roof irrigation, relay piping or. NB: Get pricing to match the Mbali Collection's tray system as an alternative.	Item  Note	1		R -
C.29	M48	<b>GREEN ROOFS – FLAT</b> Remove dead vegetation, add planting to clear trays with like plant species. Remove irrigation entirely as it is not in use or service roof irrigation, relay piping or. NB: Get pricing to match the Mbali Collection's tray system as an alternative.	Item  Note	1		R -
C.30	M49	<b>SOLAR (GEYSER) PANELS</b> See A2/A10. Make good all connections, ensure rubberised components are not sun damaged, replace parts as needed.	Note			Included under A2/A10

QS Ref	Arch Ref	Description	Unit	Quantity	Rate	Amount
<b>C.31</b>	<b>M50</b>	<b>EXTERNAL LIGHT FIXTURE</b> As per M30. Make good light fixture, treat rust on fixture and water damage at base of connection to soffit.	No.	1		R -
<b>C.32</b>	<b>M51</b>	<b>KITCHEN/DINING INTERNAL FLOORS</b> Sand down to raw timber, repair water damage, make good ember damage at fireplace, reseal timberwork as per SC004 Finishes schedule. Refer to AD110-312 for area.	m <sup>2</sup>	27		R -
<b>C.33</b>	<b>M52</b>	<b>KITCHEN/DINING INTERNAL FLOORS - FIREPLACE</b> Make good ember damage to timber floors adjacent fireplaces. Make good ember damage to timber floors adjacent fireplaces. Sand down to raw timber, repair water damage, make good ember damage at fireplace, reseal timberwork as per SC004 Finishes schedule. Approx. area impacted = ±1.5m <sup>2</sup> p/cabin	Note m <sup>2</sup>	3		R -
<b>C.34</b>	<b>M53</b>	<b>FIREPLACE (CRITICAL)</b> All fireplaces and chimneys to be fully serviced, including the following (NB: Make good all rust and material degradation) Fireplaces, steel plinth and backplate to be sanded and prepped for paint, and resprayed with heat resistant black paint as per fireplace manufacturer's recommendation and spec. Flues to be sanded and prepped for paint, and resprayed with heat resistant black paint as per fireplace manufacturer's recommendation and spec. Make good internal workings and finishes of fireplace incl. grate. Service door hinges and closure mechanisms Flues to be cleared and cleaned to ensure good draw Spark arrestors to be checked to ensure that they are all still operational NB: Ensure there is no leaking from above causing rust around flue- fireplace junction	Item No. No. No. No. No. No. No. Note	1 1 1 1 1 1 1		R - Incl above Incl above Incl above Incl above Incl above Incl above
<b>C.35</b>	<b>M54</b>	<b>SERVICE KITCHEN/DINING FOLDING STACKING DOORS</b> Service complete door system incl. sliding mechanisms, locking mechanisms, replace seals. x 1 (x 5 Panels) NB: <input type="checkbox"/> Final door leaf doesn't close readily, door catch has failed etc. <input type="checkbox"/> Ensure stacking leaves locking catches lock from the same direction. <input type="checkbox"/> Repair damaged finish to match existing.	No. Note	1		R -
<b>C.36</b>	<b>M55</b>	<b>SERVICE GABLE GLAZING</b> Clean and service bottom hung windows within gable ends (x2). Replace seals if required.	No.	2		R -

QS Ref	Arch Ref	Description	Unit	Quantity	Rate	Amount
<b>C.37</b>	<b>M56</b>	<b>SERVICE KITCHEN/DINING SLIDING DOORS</b> Service complete door system incl. sliding mechanisms, locking mechanisms, replace seals. x 1 (x 3 leaves) NB: <input type="checkbox"/> Make good face plate, striker plate, and lock – ensure flush with side of door stile <input type="checkbox"/> Ensure leaves slide readily <input type="checkbox"/> Repair damaged finish (where previous attempted repair has taken place, clean timber) <input type="checkbox"/> Finish to match existing	No.  Note	1		R -
<b>C.38</b>	<b>M57</b>	<b>SERVICE SLIDING SASH WINDOWS</b> Service complete window systems incl. sliding mechanisms, locking mechanisms, replace seals. NB: <input type="checkbox"/> Make good face plate, strike plates, replace missing pop- rivets <input type="checkbox"/> Ensure leaves slide readily <input type="checkbox"/> Repair damaged finish to match existing	No.  Note	2		R -
<b>C.39</b>	<b>M58</b>	<b>ELECTRICAL &amp; FIXTURES</b> Light points and electrical sockets in working order. However, ensure that each switch turns on in the same direction. <input type="checkbox"/> Service oven, stove top, extractor unit – check respective seals, filters, control gauge <input type="checkbox"/> See A3 - ensure each light is of 3000K <input type="checkbox"/> See A6 – x1 to replace <input type="checkbox"/> See A7	No.	1		R -
<b>C.40</b>	<b>M59</b>	<b>WATER FILTER</b> Service water filter system, ensure flow rate is working correctly (in its current state an issue seems to be present). NB: Ensure the below-sink plug point is installed as per regulations and is connected to the earth leakage supply.	No.  Note	1		R -
<b>C.41</b>	<b>M60</b>	<b>SINK AREA (SEALING)</b> Sand down interior of carcasses to remove water damage. Reseal as per SC004 Finishes Ensure seals of waste and trap are in working order of sink above.	m <sup>2</sup>  Item	1.8  1		R - R -
<b>C.42</b>	<b>M61</b>	<b>ELECTRICAL COVER PLATES</b> Make level and aligned electrical cover plates.	No.	2		R -
<b>C.43</b>	<b>M62</b>	<b>DRAWER/DOOR FRONTS</b> Sand down and respray all drawer fronts and cupboard doors. Colour to match existing as per SC005 Colour schedule. Refer to AD110-672 for area. X10 Surfaces	m <sup>2</sup>	2		R -

QS Ref	Arch Ref	Description	Unit	Quantity	Rate	Amount
<b>C.44</b>	<b>M63</b>	<b>DRAWER RUNNERS</b> Replace all drawer runners with heavy duty extension runners and soft closers. Service door hinges and add soft closers to doors of kitchenette unit (x3). X 16 (x 8 pairs)	Item	1		R -
<b>C.45</b>	<b>M64</b>	<b>KITCHENETTE KICKPLATE</b> Sand down to raw timber, repair water damage, reseal timberwork as per SC004 Finishes schedule.	m	3		R -
<b>C.46</b>	<b>M65</b>	<b>SEALANT (KITCHEN TILES)</b> Seal gap between timber and tiles with polyurethane flexible sealant as per Sikaflex 11FC (white).	m	1		R -
<b>C.47</b>	<b>M66</b>	<b>SEALANT (KITCHEN SINK)</b> Clean out gap between stainless steel and tiling and timber side members, reseal with polyurethane flexible sealant as per Sikaflex Clean grout, refill gaps between tiling where required. Colour to match existing.	m m	4 5		R - R -
<b>C.48</b>	<b>M67</b>	<b>REFINISH BATHROOM CEILING</b> Sand down ceiling to raw timber, reseal as per SC004 Finishes schedule.	m <sup>2</sup>	8		R -
<b>C.49</b>	<b>M68</b>	<b>BATHROOM VANITIES</b> Make good vanities in bathroom and en-suite, sand down to raw timber, reseal as per SC004 Finishes schedule. x 2 Reseal around perimeter at tile-timber junction with polyurethane flexible sealant as per Sikaflex 11FC (white).	m <sup>2</sup> m	1 3		R - R -
<b>C.50</b>	<b>M69</b>	<b>BATHROOM VANITIES SUBSTRUCTURE</b> Make good substructure, ensure members are level, sand down, make good at tile juncture. Seal with polyurethane flexible sealant as per Sikaflex 11FC (white).	No. m	2 3		R - R -
<b>C.51</b>	<b>M70</b>	<b>BATHROOM &amp; EN-SUITE SKIRTING JUNCTURES</b> Clean out gap between tiling and timber floor. Reseal with polyurethane flexible sealant as per Sikaflex 11FC (white). Refer to AD110-312, AD110-660 for areas. NB: Sealant application not to take place at shower duck-board	m	18		R -
<b>C.52</b>	<b>M71</b>	<b>SERVICE BATHROOM SLIDING DOORS</b> Service complete door system incl. sliding mechanisms, locking mechanisms, replace seals. x 1 (x 2 leaves) NB: • Make good face plate, striker plate and lock – ensure flush with side of door stile • Ensure leaves slide readily • Finish to match existing	No. Note	1		R -

QS Ref	Arch Ref	Description	Unit	Quantity	Rate	Amount
<b>C.53</b>	<b>M72</b>	<b>BATHROOM FRONT DOOR</b> Make neat at entrance door, reinstall striker plate, make good rust and replace missing screws (stainless steel). Ensure all screws are the same.	No.	1		R -
<b>C.54</b>	<b>M73</b>	<b>BEDROOM 2 FRONT DOOR</b> Door has begun to sag, make good. Ensure barrel bolts operate readily. Make neat around face plate. Repaint leading face (side) of door to match existing.	No.	1		R -
<b>C.55</b>	<b>M74</b>	<b>BEDROOM 2 FRONT DOOR CONTINUED</b> Make good at striker plate. Repaint face of stile to match existing. Ensure barrel bolt is readily operable. Where frame and timber lining are beginning to separate due to movement, seal with polyurethane flexible sealant as per Sikaflex 11FC (white).	No.	1		R -
<b>C.56</b>	<b>M75</b>	<b>SERVICE BEDROOM 2 SLIDING SASH WINDOW</b> Service complete window systems incl. sliding mechanisms, locking mechanisms, replace seals. NB: <input type="checkbox"/> Make good face plate, strike plates, replace missing pop- rivets <input type="checkbox"/> Ensure leaves slide readily <input type="checkbox"/> Repair damaged finish to match existing	No. Note	1		R -
<b>C.57</b>	<b>M76</b>	<b>BEDROOM 2 SLIDING DOOR</b> Service complete door system incl. sliding mechanisms, locking mechanisms, replace seals. x 1 (x 2 leaves) NB: <input type="checkbox"/> Make good face plate, striker plate, and lock – ensure flush with side of door stile <input type="checkbox"/> Ensure leaves slide readily <input type="checkbox"/> Replace missing pop rivets <input type="checkbox"/> Finish to match existing	No. Note	1		R -
<b>C.58</b>	<b>M77</b>	<b>BEDROOM 1 FRONT DOOR</b> Make good chips and damage – sand down and respray door to match existing finish. Make neat at face & striker plates.	No.	1		R -
<b>C.59</b>	<b>M78</b>	<b>BEDROOM 1 FLOOR</b> Sand down to raw timber, repair water damage, reseal timber work as per SC004 Finishes schedule. Refer to AD110-312 for area.	m <sup>2</sup>	13		R -
<b>C.60</b>	<b>M79</b>	<b>BEDROOM 1 SLIDING DOOR</b> Service complete door system incl. sliding mechanisms, locking mechanisms, replace seals. x 1 (x 2 leaves) NB: <input type="checkbox"/> Make good face plate, striker plate, and lock – ensure flush with side of door stile <input type="checkbox"/> Ensure leaves slide readily <input type="checkbox"/> Replace missing striker plate <input type="checkbox"/> Finish to match existing	No. Note	1		R -

QS Ref	Arch Ref	Description	Unit	Quantity	Rate	Amount
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QS Ref	Arch Ref	Description	Unit	Quantity	Rate	Amount
<b>C.61</b>	<b>M80</b>	<b>LIGHT SWITCH COVER</b> Make neat and level light switch cover adjacent to front door.	No.	1		R -
<b>C.62</b>	<b>M81</b>	<b>PEELING PAINTWORK NEXT TO LIGHT</b> Make good peeling paintwork along corner of wall adjacent door. Finish to match existing.	No.	1		R -
<b>C.63</b>	<b>M82</b>	<b>REFINISH EN-SUITE CEILING</b> Sand down ceiling to raw timber, reseal as per SC004 Finishes schedule.	m <sup>2</sup>	8		R -
<b>C.64</b>	<b>M83</b>	<b>SERVICE EN-SUITE SLIDING DOORS</b> Service complete door system incl. sliding mechanisms, locking mechanisms, replace seals. x 1 (x 2 leaves)	No.	1		R -
<b>C.65</b>	<b>M84</b>	<b>BATHROOM &amp; EN-SUITE SWITCHES</b> Make level switch covers. Ensure fan and light operations are working – lighting only working intermittently.	No. No.	2 2		R - R -
<b>C.66</b>	<b>M89</b>	<b>ROOF EDGING</b> Make good rusting at fixings to edging strip, replace nails with stainless steel equivalent. Ensure seal between fixing and edging strip. Finish as per existing.	m	51		R -
<b>D</b>		<b>CABIN 4: FIRE LILY</b>				R -
<b>D.1</b>	<b>A15</b>	<b>REMOVE UNUSED GEYSERS</b> Take out and remove unused geysers from service storage unit, including blanking off. Make good and remove all wiring/electrical/plumbing components not in use, including blanking off and make safe. Connect and make good all solar geysers to corresponding solar panels (3 x). Ensure solar panels are in working order and are well within their respective service life. Ensure timber panels are removeable – utilise wingnuts to fasten.  NOTE: SPECIFICATIONS AND INSTALLATION METHODOLOGY TO BE PROVIDED BY 3 SPECIALIST SUB CONTRACTORS.	No. No. No. Note	1 1 1		R - Incl above R -
<b>D.2</b>	<b>A16</b>	<b>REMOVE FLOOD LIGHT</b> Remove floodlight overlooking braai area from cabin, including blanking off and make safe. Take out and remove electrical conduits including disconnect, blanking off and make safe.  Repair and fill resulting holes. Paint to match existing – full coats on wall with required undercoat. Remove light switch for floodlight, close cavity and make good all surrounding surfaces. Replace cabin light fixtures adjacent bathroom with Spazio 'Alcor Round 1L' 4531.4.30. Ensure LED bulb is of 3000 K.	No. m m <sup>2</sup> No. No.	1 10 10 1 1		R - R - R - R - R -

QS Ref	Arch Ref	Description	Unit	Quantity	Rate	Amount
		NB: Make good rust on green circled cover plate, finish to match existing. Ensure plate is level once repair work complete.	No.	1		R -

QS Ref	Arch Ref	Description	Unit	Quantity	Rate	Amount
<b>D.3</b>	<b>A17</b>	<b>BATHROOM &amp; EN-SUITE SHOWER PLATFORMS</b> Reconstruct shower decking and glass enclosures as per drawing AD110 - 660/661 and SC004 Finishes schedule (Ensure that the decks can be lifted for cleaning purposes): Decks sand down and sealed with penetrating oil Shower trays to be cleaned thoroughly, make good any water damage. Drains to be cleaned thoroughly, make good any water damage.	Note m <sup>2</sup> No. No.	 6 2 2	 R R R	 - - -
<b>D.4</b>	<b>A18</b>	<b>BATHROOM &amp; EN-SUITE SHOWER ROSES</b> Replace all existing shower roses with the COBRA 'Zambezi Round Single Function Shower' FSWHR1BN-0GT0156. Additional components req. COBRA 'Zambezi Shower Arm 331mm' FSACA2GN-0GT0150. NB: Centre new shower rose arm to NEW replacement timber panel (sealed to match current panel to be replaced).	No. No.	2 2		Rate Only Rate Only
<b>D.5</b>	<b>M85</b>	<b>REPLACE MISSING LATTE</b> Replace splitting latte members. Approx. 8 instances seen on cabin.	m	10	R	-
<b>D.6</b>	<b>M86</b>	<b>REPLACE MISSING LATTE</b> Replace missing latte members. Diameter to match existing as close as possible. Make good all latte 'panels'.	m	10	R	-
<b>D.7</b>	<b>M87</b>	<b>SOLAR GEYSER &amp; ENCLOSURE</b> See A2/A15 Replace missing and loose latte members. Ensure panels can be removed readily for repair work. NB: Make good fascias, sand down and reseal as per SC004 Finishes schedule.	Note m	 3	 R	 -
<b>D.8</b>	<b>M88</b>	<b>EXTERIOR LIGHT SWITCH</b> Ensure each switch circuit is in working order. Clean surfaces. Make good adjacent latte.	No. No.	1 1	R R	- -
<b>D.9</b>	<b>M89</b>	<b>SOFFIT &amp; EAVES REPAIR</b> Sand down ply soffits, reseal as per finishing schedule SC004. Make good all external timber beading & seal as per previous. NB: Optional: Redirect copper water pipe as per line drawn (optional).	m <sup>2</sup> m m	18 59 3	R R R	- - -
<b>D.10</b>	<b>M90</b>	<b>SOFFIT &amp; EAVES REPAIR CONTINUED</b> Replace to match existing where water damage is extensive (i.e. second image).	m <sup>2</sup>	10	R	-
<b>D.11</b>	<b>M91</b>	<b>FASCIA &amp; BARGE BOARD REPAIRS</b> Sand down fascias and barge boards to raw timber, reseal as per finishing schedule SC004. Replace circled members. At least x 4 boards.	m	63	R	-

QS Ref	Arch Ref	Description	Unit	Quantity	Rate	Amount
D.12	M92	<b>FASCIA AND BARGE BOARD REPAIRS CONTINUED</b> Sand down fascias and barge boards to raw timber, reseal as per finishing schedule SC004. At least x 4 boards.	m	40		R -
D.13	M93	<b>TIMBER RAILING</b> Replace timber railing member to match existing on bathroom/en-suite elevation. Finish as per SC004 Finishes schedule. Make good separating latte panel post.	No. No.	1 1		R - R -
D.14	M94	<b>BEAMS AND POSTS</b> Sand down and make good all water damaged external beams and posts. Seal as per finishing schedule SC004. Refer to AD110-310 & 311 for area.	m	45		R -
D.15	M95	<b>EXTERNAL DECKING</b> Sand down and make good external decking. Seal as per finishing schedule SC004. Ensure fixings are not compromised and edge conditions are level. Refer to AD110-309 for area.	m <sup>2</sup>	28		R -
D.16	M96	<b>SEATING PLATFORMS</b> Sand down and make good timber at seating adjacent to braai area x 2. Seal as per finishing schedule SC004. Approx. 1.75m <sup>2</sup> total.	m <sup>2</sup>	1.75		R -
D.17	M97	<b>CHAIN HOPPERS</b> Replace missing chain hopper funnels, secure those which are loose. Ensure colours to match existing and make good all rust. NB: Clear out all plant matter	No.	3		R -
D.18	M98	<b>BURY SERVICE CONDUITS</b> All exposed and surfaced conduiting, plumbing pipes and other service related wiring to be made compliant with relevant installation regulations. Make good, bury to depth as per regulations. Each cabin and area varies p/instance from ±1m to ±7m+. Quantify on site.	m	2		R -
D.19	M99	<b>RUSTING BRACING</b> Make good rust on bracing, fasteners, and central disc.	No.	1		R -
D.20	M100	<b>ECO-TOWER DOOR BARREL BOLT</b> Replace door barrel bolt with stainless steel equivalent. For cabin hook in door open position – replace with longer hook (current condition means door pushes against bracing). Style to match existing, replace screws with stainless steel equivalents.	No. No.	1 1		R - R -
D.21	M101	<b>ECO-TOWER DOOR HINGES</b> Make good rust. Rehang door and realign to compensate for timber warpage. Sand down timber and reseal to match existing.	No.	3		R -

QS Ref	Arch Ref	Description	Unit	Quantity	Rate	Amount
D.22	M102	<b>SERVICE ECO-LOO</b> Service eco-loo. Replace and make good all rusted components as per. manufacturer's spec. Remove plant growth. Ensure no leaks are present within.	No.	2		Rate only
D.23	M103	<b>SERVICE ECO-LOO</b> Make good rust on vent piping and extractor fans. Ensure extractor fans are in working order. NB: Make good rust on clamp	No.	2		Rate only
D.24	M104	<b>BRAAI PLACE/FLUE/COWL MAINTENANCE</b> All braai places to be fully serviced, including the following (NB: Make good all rust and material degradation): Braais are to be sanded and prepped for paint, and resprayed with heat resistant black paint as per braai manufacturer's recommendation and Flues to be sanded and prepped for paint, and resprayed with heat resistant black paint as per braai manufacturer's recommendation and spec. Make good internal workings and finishes incl. grate and grids – replace where needed. Service door panel hinges and closure mechanisms All flues & cowls to be fully serviced, including the following (NB: Make good all rust and material degradation): Metalwork to be sanded and prepped for paint, and resprayed with black paint as per braai manufacturer's recommendation and spec. Flues to be cleared and cleaned to ensure good draw Spark arrestors to be checked to ensure that they are all still operational	Item m <sup>2</sup> No. No. No. Note No. No. No.	1 6 1 1 1  1 1 1		R -  Incl above Incl above Incl above Incl above Incl above Incl above Incl above
D.25	M105	<b>SPLIT TIMBER</b> Make good split timber member & screw fixing – adjacent Bedroom 1 exterior corner closest to braai.	No.	1		R -
D.26	M75	<b>GREEN ROOFS – PITCHED ROOF</b> Refill compartments with soil, look into using hessian soil blanket to enable soil retention – specialist to advise. Transplant existing species and add as needed with like plant species. Remove irrigation entirely as it is not in use or service roof irrigation, relay piping or. NB: Get pricing to match the Mbali Collection's tray system as an alternative.	Item	1		R -
D.27	M107	<b>GREEN ROOFS – FLAT</b> Weed compartments. Remove irrigation entirely as it is not in use or service roof irrigation, relay piping or. NB: Get pricing to match the Mbali Collection's tray system as an alternative.	Item	1		R -

QS Ref	Arch Ref	Description	Unit	Quantity	Rate	Amount
D.28	M108	<b>SOLAR (GEYSER) PANELS</b> See A2/A15. Make good all connections, ensure rubberised components are not sun damaged, replace parts as needed.	Note			See A15
D.29	M109	<b>EXTERNAL LIGHT FIXTURE</b> As per M90. Make good light fixture, treat rust on fixture and water damage at base of connection to soffit.	No.	1		R -
D.30	M110	<b>BENCH</b> Make good bench between bedrooms 1 & 2 – loose.	No.	1		R -
D.31	M111	<b>KITCHEN/DINING INTERNAL FLOORS</b> Sand down to raw timber, repair water damage, make good ember damage at fireplace, reseal timberwork as per SC004 Finishes schedule. Refer to AD110-309 for area.	m <sup>2</sup>	27		R -
D.32	M112	<b>KITCHEN/DINING INTERNAL FLOORS - FIREPLACE</b> Make good ember damage to timber floors adjacent fireplaces. Sand down to raw timber, repair water damage, make good ember damage at fireplace, reseal timberwork as per SC004 Finishes schedule. Approx. area impacted = ±1.5m <sup>2</sup> p/cabin	Note m <sup>2</sup>	1.5		R -
D.33	M113	<b>FIREPLACE (CRITICAL)</b> All fireplaces and chimneys to be fully serviced, including the following (NB: Make good all rust and material degradation) Fireplaces, steel plinth and backplate to be sanded and prepped for paint, and resprayed with heat resistant black paint as per fireplace manufacturer's recommendation and spec. Flues to be sanded and prepped for paint, and resprayed with heat resistant black paint as per fireplace manufacturer's recommendation and spec. Make good internal workings and finishes of fireplace incl. grate. Service door hinges and closure mechanisms Flues to be cleared and cleaned to ensure good draw Spark arrestors to be checked to ensure that they are all still operational NB: Door does not secure – handle latch broken.	Item No. m <sup>2</sup> No. No. No. Note	1 1 1 1 1 1		R - Incl above Incl above Incl above Incl above Incl above
D.34	M114	<b>SERVICE KITCHEN/DINING FOLDING STACKING DOORS</b> Service complete door system incl. sliding mechanisms, locking mechanisms, replace seals. x 1 (x 5 Panels) NB: <input type="checkbox"/> Door catch has failed etc. <input type="checkbox"/> Ensure stacking leaves locking catches lock from the same direction. <input type="checkbox"/> Doors scrape against decking. Repair damaged finish to match existing	No. Note	1		R -

QS Ref	Arch Ref	Description	Unit	Quantity	Rate	Amount
D.35	M115	<b>SERVICE GABLE GLAZING</b> Clean and service bottom hung windows within gable ends (x2). Replace seals if required.	No.	2		R -
D.36	M116	<b>SERVICE KITCHEN/DINING SLIDING DOORS</b> Service complete door system incl. sliding mechanisms, locking mechanisms, replace seals. x 1 (x 3 leaves) NB: <input type="checkbox"/> Make good face plate, striker plate, and lock – ensure flush with side of door stile <input type="checkbox"/> Ensure leaves slide readily <input type="checkbox"/> Replace cracked pane of glass – to match existing type <input type="checkbox"/> Finish to match existing	No.  Note	1		R -
D.37	M117	<b>SERVICE SLIDING SASH WINDOWS</b> Service complete window systems incl. sliding mechanisms, locking mechanisms, replace seals. NB: <input type="checkbox"/> Make good face plate, strike plates, replace missing pop- rivets <input type="checkbox"/> Ensure leaves slide readily <input type="checkbox"/> Repair damaged finish to match existing	No.  Note	2		R -
D.38	M118	<b>ELECTRICAL AND FIXTURES</b> Light points and electrical sockets in working order, except below point. Ensure that each switch turns on in the same direction. - Kitching/Dining light circuit – make good <input type="checkbox"/> Service oven – check respective seals, control gauge - Internal light not in working order <input type="checkbox"/> Service stove top <input type="checkbox"/> Service extractor unit – check respective seals, filters, control panels - Replace lights not in working order <input type="checkbox"/> Ties into ensuring each light is of 3000K <input type="checkbox"/> See A6 – x1 to replace <input type="checkbox"/> See A7 Replace LED strips in bathrooms to ensure they run the full length of their respective walls. Approx. lengths of 3500mm & 2400mm p/wall respectively (x2 p/cabin, x1 p/honeymoon) Replace LED driver with discrete model to conceal behind 'perimeter pelmet'. Ensure colour temp. of 3000K	No.  m  No.	1  12  1		R -  R -  R -
D.39	M119	<b>WATER FILTER</b> Service water filter system, ensure flow rate is working correctly (in its current state an issue seems to be present). NB: Ensure the below-sink plug point is installed as per regulations and is connected to the earth leakage supply.	No.  Note	1		R -

QS Ref	Arch Ref	Description	Unit	Quantity	Rate	Amount
D.40	M120	<b>DRAWER/DOOR FRONTS</b> Sand down and respray all drawer fronts and cupboard doors. Colour to match existing as per SC005 Colour schedule. Refer to AD110-672 for area. X10 Surfaces	m <sup>2</sup>	2		R -
D.41	M121	<b>DRAWER RUNNERS</b> Replace all drawer runners with heavy duty extension runners and soft closers. Service door hinges and add soft closers to doors of kitchenette unit (x3). X 16 (x 8 pairs)	Item	1		R -
D.42	M122	<b>KITCHENETTE KICKPLATE</b> Sand down to raw timber, repair water damage, reseal timberwork as per SC004 Finishes schedule.	m	3		R -
D.43	M123	<b>SEALANT (KITCHEN TILES)</b> Seal gap between timber and tiles with polyurethane flexible sealant as per Sikaflex 11FC (white).	m	1		R -
D.44	M124	<b>SEALANT (KITCHEN SINK)</b> Clean out gap between stainless steel and tiling and timber side members, reseal with polyurethane flexible sealant as per Sikaflex 11FC (white). Clean grout, refill gaps between tiling where required. Colour to match existing.	m m	4 5		R - R -
D.45	M125	<b>BATHROOM VANITIES</b> Make good vanities in bathroom and en-suite, sand down to raw timber, reseal as per SC004 Finishes schedule. x 2 Reseal around perimeter at tile-timber junction with polyurethane flexible sealant as per Sikaflex 11FC (white). x 2	m <sup>2</sup> m	1 3		R - R -
D.46	M126	<b>BATHROOM VANITIES SUBSTRUCTURE</b> Make good substructure, ensure members are level, sand down, make good at tile juncture. Seal with polyurethane flexible sealant as per Sikaflex 11FC (white). NB: Sealant application not to take place at shower duck-board	No. No. Note	2 3		R - R -
D.47	M127	<b>BATHROOM &amp; EN-SUITE SKIRTING JUNCTURES</b> Clean out gap between tiling and timber floor. Reseal with polyurethane flexible sealant as per Sikaflex 11FC (white). NB: Sealant application not to take place at shower duck-board	m Note	18		R -
D.48	M128	<b>BATHROOM/ EN-SUITE TILING</b> Make neat tiling in bathroom and en- suite. Clean grout from mould, regrout at degraded application (to match existing).	m <sup>2</sup>	6		R -

QS Ref	Arch Ref	Description	Unit	Quantity	Rate	Amount
<b>D.49</b>	<b>M129</b>	<b>SERVICE BATHROOM SLIDING DOORS</b> Service complete door system incl. sliding mechanisms, locking mechanisms, replace seals. x 1 (x 2 leaves) NB: <input type="checkbox"/> Make good face plate, striker plate and lock – ensure flush with side of door stile <input type="checkbox"/> Ensure leaves slide readily <input type="checkbox"/> Finish to match existing	No.  Note	1		R -
<b>D.50</b>	<b>M130</b>	<b>BATHROOM FRONT DOOR</b> Make neat at entrance door, reinstall striker plate, make good rust and replace missing screws (stainless steel). Ensure all screws are the same. Make neat threshold plate. Door scraping against floor, make good.	No.	1		R -
<b>D.51</b>	<b>M131</b>	<b>SERVICE BEDROOM 2 SLIDING SASH WINDOW</b> Service complete window systems incl. sliding mechanisms, locking mechanisms, replace seals. NB: <input type="checkbox"/> Make good face plate, strike plates, replace missing pop- rivets <input type="checkbox"/> Ensure leaves slide readily <input type="checkbox"/> Repair damaged finish to match existing	No.  Note	1		R -
<b>D.52</b>	<b>M132</b>	<b>BEDROOM 2 SLIDING DOOR</b> Service complete door system incl. sliding mechanisms, locking mechanisms, replace seals. x 1 (x 2 leaves) NB: <input type="checkbox"/> Make good face plate, striker plate, and lock – ensure flush with side of door stile <input type="checkbox"/> Ensure leaves slide readily <input type="checkbox"/> Replace missing pop rivets <input type="checkbox"/> Finish to match existing	No.  Note	1		R -
<b>D.53</b>	<b>M133</b>	<b>BEDROOM 1 FRONT DOOR</b> Make good chips and damage – sand down and respray door to match existing finish. Make neat at face & striker plates.	No.	1		R -
<b>D.54</b>	<b>M134</b>	<b>BEDROOM 1 FLOOR</b> Sand down to raw timber, repair water damage, reseal timber work as per SC004 Finishes schedule. Refer to AD110-309 for area.	m <sup>2</sup>	13		R -
<b>D.55</b>	<b>M135</b>	<b>BEDROOM 1 SLIDING DOOR</b> Service complete door system incl. sliding mechanisms, locking mechanisms, replace seals. x 1 (x 2 leaves) NB: <input type="checkbox"/> Make good face plate, striker plate, and lock – ensure flush with side of door stile <input type="checkbox"/> Ensure leaves slide readily <input type="checkbox"/> Replace missing striker plate <input type="checkbox"/> Finish to match existing	No.  Note	1		R -

QS Ref	Arch Ref	Description	Unit	Quantity	Rate	Amount
D.56	M136	<b>SERVICE EN-SUITE SLIDING DOORS</b> Service complete door system incl. sliding mechanisms, locking mechanisms, replace seals. x 1 (x 2 leaves)	No.	1		R -
D.57	M137	<b>LED SHELF BEADING</b> As per A9. Make good LED shelf beading	m	2		R -
D.58	O3	<b>ROOF EDGING</b> Make good rusting at fixings to edging strip, replace nails with stainless steel equivalent. Ensure seal between fixing and edging strip. Finish as per existing.	m	51		R -
E		<b>CABIN 3: ERICA</b>				R -
E.1	A19	<b>REMOVE UNUSED GEYSERS</b> Take out and remove unused geysers from service storage unit, including blanking off. Make good and remove all wiring/electrical/plumbing components not in use, including blanking off and make safe. Connect and make good all solar geysers to corresponding solar panels (3 x). Ensure solar panels are in working order and are well within their respective service life. Ensure timber panels are removeable – utilise wingnuts to fasten.  SPECIFICATIONS AND INSTALLATION METHODOLOGY TO BE PROVIDED BY 3 SPECIALIST SUB CONTRACTORS.	No. No. No. Note	1 1 1		R - Incl above R -
E.2	A20	<b>REMOVE FLOOD LIGHT</b> Remove floodlight overlooking braai area from cabin, including blanking off and make safe. Take out and remove electrical conduits including disconnect, blanking off and make safe.  Repair and fill resulting holes. Paint to match existing – full coats on wall with required undercoat. Remove light switch for floodlight, close cavity and make good all surrounding surfaces. Replace cabin light fixtures adjacent bathroom with Spazio 'Alcor Round 1L' 4531.4.30. Ensure LED bulb is of 3000 K. NB: Make good rust on green circled cover plate, finish to match existing. Ensure plate is level once repair work complete.	No. m m <sup>2</sup> No. No. No.	1 10 10 1 1 1		R - R - R - R - R - R -
E.3	A21	<b>BATHROOM &amp; EN-SUITE SHOWER PLATFORMS</b> Reconstruct shower decking and glass enclosures as per drawing SC004 Finishes schedule (Ensure that the decks can be lifted for Decks sand down and sealed with penetrating oil Shower trays to be cleaned thoroughly, make good any water damage Drains to be cleaned thoroughly, make good any water damage	Note m <sup>2</sup> No. No.	 6 2 2		R - R - R -

QS Ref	Arch Ref	Description	Unit	Quantity	Rate	Amount
E.4	A22	<b>BATHROOM &amp; EN-SUITE SHOWER ROSES</b> Replace all existing shower roses with the COBRA 'Zambezi Round Single Function Shower' FSWHR1BN-0GT0156. Additional components req. COBRA 'Zambezi Shower Arm 331mm' FSACA2GN-0GT0150. NB: Centre new shower rose arm to NEW replacement timber panel (sealed to match current panel to be replaced).	No.	2		Rate Only
			No.	2		Rate Only
E.5	M138	<b>REPLACE MISSING LATTE</b> Replace missing latte members. Diameter to match existing as close as possible. Make good all latte 'panels'.	m	10	R	-
E.6	M139	<b>SOLAR GEYSER &amp; ENCLOSURE</b> See A2/A19 Replace missing and loose latte members. Ensure panels can be removed readily for repair				Incl under A19
E.7	M140	<b>EXTERIOR LIGHT SWITCH</b> Ensure each switch circuit is in working order. Clean surfaces. Make good adjacent latte.	No.	1	R	-
			No.	1	R	-
E.8	M141	<b>SOFFIT &amp; EAVES REPAIR</b> Sand down ply soffits, reseal as per finishing schedule SC004. Make good all external timber beading & seal as per previous. Make good notched timber member (dimension and type to match existing) by replacing. NB: Redirect copper water pipe as per line drawn (optional).	m <sup>2</sup>	18	R	-
			m	59	R	-
			m	20	R	-
			m	3	R	-
E.9	M142	<b>SOFFIT &amp; EAVES REPAIR CONTINUED</b> Replace to match existing where water damage is extensive.	m <sup>2</sup>	10	R	-
E.10	M143	<b>FASCIA &amp; BARGE BOARD REPAIRS</b> Sand down fascias and barge boards to raw timber, reseal as per finishing schedule SC004.	m	63	R	-
E.11	M144	<b>BEAMS AND POSTS</b> Sand down and make good all water damaged external beams and posts. Seal as per finishing schedule SC004. Refer to AD110-307 and 308 for area.	m	45	R	-
E.12	M145	<b>EXTERNAL DECKING</b> Sand down and make good external decking. Seal as per finishing schedule SC004. Ensure fixings are not compromised and edge conditions are level. Refer to AD110-306 for area. NB: Make good step.	m <sup>2</sup>	28	R	-
E.13	M146	<b>SEATING PLATFORMS</b> Sand down and make good timber at seating adjacent to braai area x 2. Seal as per finishing schedule SC004. Approx. 1.75m <sup>2</sup> total.	m <sup>2</sup>	2	R	-

QS Ref	Arch Ref	Description	Unit	Quantity	Rate	Amount
E.14	M147	<b>CHAIN HOPPERS</b> Replace missing chain hopper funnels, secure those which are loose. Ensure colours to match existing and make good all rust. NB: Clear out all plant matter	No.	3		R -
E.15	M148	<b>BURY SERVICE CONDUITS</b> All exposed and surfaced conduiting, plumbing pipes and other service related wiring to be made compliant with relevant installation regulations. Make good, bury to depth as per regulations. Each cabin and area varies p/instance from ±1m to ±7m+. Quantify on site.	m	3		R -
E.16	M149	<b>RUSTING BRACING</b> Make good rust on bracing, fasteners, and central disc.	No.	1		R -
E.17	M150	<b>ECO-TOWER DOOR BARREL BOLT</b> Replace door barrel bolt with stainless steel equivalent. Make good cabin hook.	No. No.	1 1		R - R -
E.18	M151	<b>ECO-TOWER DOOR HINGES</b> Make good rust. Rehang door and realign to compensate for timber warpage. Sand down timber and reseal to match existing.	No.	3		R -
E.19	M152	<b>BRAAI PLACE/FLUE/COWL MAINTENANCE</b> All braai places to be fully serviced, including the following (NB: Make good all rust and material degradation): Braais are to be sanded and prepped for paint, and resprayed with heat resistant black paint as per braai manufacturer's recommendation and spec. Flues to be sanded and prepped for paint, and resprayed with heat resistant black paint as per braai manufacturer's recommendation and spec. Make good internal workings and finishes incl. grate and grids – replace where needed. Service door panel hinges and closure mechanisms All flues & cowls to be fully serviced, including the following (NB: Make good all rust and material degradation): Metalwork to be sanded and prepped for paint, and resprayed with black paint as per braai manufacturer's recommendation and spec. Flues to be cleared and cleaned to ensure good draw Spark arrestors to be checked to ensure that they are all still operational	Item m <sup>2</sup> No. No. No. Note No. No. No.	1 3 1 1 1  1 1 1		R -  Incl above Incl above Incl above Incl above Incl above Incl above Incl above Incl above
E.20	M153	<b>CLEAR VEGETATION (IMPORTANT)</b> Clear away dead vegetation from building structures.	Item			Included in M7

QS Ref	Arch Ref	Description	Unit	Quantity	Rate	Amount
E.21	M154	<b>TIGHTEN CABLES</b> Tighten all balustrade cables to same tension. Ensure all turnbuckle fasteners are in good working order. ALL – APPROX. x 25 individual cables.	m	50		R -
E.22	M155	<b>BALUSTRADING</b> Sand down railing and posts to raw timber, reseal as per SC004 Finishes schedule.	m	20		R -
E.23	M156	<b>GREEN ROOFS – PITCHED ROOF</b> Refill compartments with soil, look into using hessian soil blanket to enable soil retention – specialist to advise. Transplant existing species and add as needed with like plant species. Remove irrigation entirely as it is not in use or service roof irrigation, relay piping or. NB: Get pricing to match the Mbali Collection's tray system as an alternative.	Item	1		R -
E.24	M157	<b>GREEN ROOFS – FLAT</b> Remove dead vegetation, add planting to clear trays with like plant species. Remove irrigation entirely as it is not in use or service roof irrigation, relay piping or. NB: Get pricing to match the Mbali Collection's tray system as an alternative.	Item	1		R -
E.25	M158	<b>SOLAR (GEYSER) PANELS</b> See A2/A19. Make good all connections, ensure rubberised components are not sun damaged, replace parts as needed.				See A19
E.26	M159	<b>EXTERNAL LIGHT FIXTURE</b> As per M142. Make good light fixture, treat rust on fixture and water damage at base of connection to soffit.	No.	1		R -
E.27	M160	<b>KITCHEN/DINING INTERNAL FLOORS</b> Sand down to raw timber, repair water damage, make good ember damage at fireplace, reseal timberwork as per SC004 Finishes schedule. Refer to AD110-306 for area.	m <sup>2</sup>	27		R -
E.28	M161	<b>KITCHEN/DINING INTERNAL FLOORS - FIREPLACE</b> Make good ember damage to timber floors adjacent fireplaces. Sand down to raw timber, repair water damage, make good ember damage at fireplace, reseal timberwork as per SC004 Finishes schedule. Approx. area impacted = ±1.5m <sup>2</sup> p/cabin	Note m <sup>2</sup>	1.5		R -

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QS Ref	Arch Ref	Description	Unit	Quantity	Rate	Amount
<b>E.34</b>	<b>M167</b>	<b>ELECTRICAL &amp; FIXTURES</b>				
		Light points and electrical sockets in working order. However, ensure that each switch turns on in the same direction.	No.	1		R -
		<input type="checkbox"/> Service oven, stove top, extractor unit – check respective seals, filters, control gauge <input type="checkbox"/> Ties into ensuring each light is of 3000K <input type="checkbox"/> See A6 – x 1 to replace <input type="checkbox"/> See A7				
		Replace LED strips in bathrooms to ensure they run the full length of their respective walls. Approx. lengths of 3500mm & 2400mm p/wall respectively (x2 p/cabin, x1 p/honeymoon)	m	11.8		R -
		Replace LED driver with discrete model to conceal behind 'perimeter pelmet'. Ensure colour temp. of 3000K	No.	1		R -
<b>E.35</b>	<b>M168</b>	<b>WATER FILTER</b>				
		Service water filter system, ensure flow rate is working correctly.	No.	1		R -
		NB: Ensure the below-sink plug point is installed as per regulations and is connected to the earth leakage supply.	Note			
<b>E.36</b>	<b>M169</b>	<b>SINK AREA (SEALING)</b>				
		Sand down interior of carcasses to remove water damage. Reseal as per SC004 Finishes	m <sup>2</sup>	2		R -
		Ensure seals of waste and trap are in working order of sink above.	Item	1		R -
<b>E.37</b>	<b>M170</b>	<b>DRAWER/DOOR FRONTS</b>				
		Sand down and respray all drawer fronts and cupboard doors. Colour to match existing as per SC005 Colour schedule.	m <sup>2</sup>	2		R -
		X10 Surfaces				
<b>E.38</b>	<b>M171</b>	<b>DRAWER RUNNERS</b>				
		Replace all drawer runners with heavy duty extension runners and soft closers.	m <sup>2</sup>	2		R -
		Service door hinges and add soft closers to doors of kitchenette unit (x3).				
		X 16 (x 8 pairs)				
<b>E.39</b>	<b>M172</b>	<b>KITCHENETTE KICKPLATE</b>				
		Sand down to raw timber, repair water damage, reseal timberwork as per SC004 Finishes schedule.	m	3		R -
<b>E.40</b>	<b>M173</b>	<b>SEALANT (KITCHEN TILES)</b>				
		Seal gap between timber and tiles with polyurethane flexible sealant as per Sikaflex 11FC (white). Make neat.	m	1		R -
<b>E.41</b>	<b>M174</b>	<b>SEALANT (KITCHEN SINK)</b>				
		Clean out gap between stainless steel and tiling and timber side members, reseal with polyurethane flexible sealant as per Sikaflex 11FC (white).	m	4		R -
		Clean grout, refill gaps between tiling where required. Colour to match existing.	m	5		R -

QS Ref	Arch Ref	Description	Unit	Quantity	Rate	Amount
E.42	M175	<b>REFINISH BATHROOM &amp; EN-SUITE CEILINGS</b> Sand down ceiling to raw timber, reseal as per SC004 Finishes schedule.	m <sup>2</sup>	16		R -
E.43	M176	<b>BATHROOM VANITIES</b> Make good vanities in bathroom and en-suite, sand down to raw timber, reseal as per SC004 Finishes schedule. Reseal around perimeter at tile-timber junction with polyurethane flexible sealant as per Sikaflex 11FC (white). x 2	No.	2		R -
E.44	M177	<b>BATHROOM VANITIES SUBSTRUCTURE</b> Make good substructure, ensure members are level, sand down, make good at tile juncture. Seal with polyurethane flexible sealant as per Sikaflex 11FC (white).	No. m	2 3		R - R -
E.45	M178	<b>BATHROOM &amp; EN-SUITE SKIRTING JUNCTURES</b> Clean out gap between tiling and timber floor. Reseal with polyurethane flexible sealant as per Sikaflex 11FC (white). Refer to AD110-306 for areas.  NB: Sealant application not to take place at shower duck-board	m Note	18		R -
E.46	M179	<b>BATHROOM TILING</b> Make neat tiling in bathroom and en- suite. Clean grout from mould, regrout at degraded application (to match existing).	m <sup>2</sup>	6		R -
E.47	M180	<b>SERVICE BATHROOM &amp; EN-SUITE SLIDING DOORS</b> Service complete door system incl. sliding mechanisms, locking mechanisms, replace seals. x 2 (x 2 leaves p/door) NB: <input type="checkbox"/> Make good face plate, striker plate and lock – ensure flush with side of door stile <input type="checkbox"/> Ensure leaves slide readily <input type="checkbox"/> Finish to match existing	No. Note	1		R -
E.48	M181	<b>TIMBER REVEAL</b> Make good loose timber reveal.	No.	1		R -
E.49	M182	<b>BATHROOM FRONT DOOR</b> Make neat at entrance door, reinstall striker plate, make good rust and replace missing screws (stainless steel).	No.	1		R -
E.50	M183	<b>DOOR HANDLES</b> Make good. x 4 Doors – Bedroom 1, Bedroom 2, Bathroom, En-Suite	No.	4		R -
E.51	M184	<b>BEDROOM 1 FRONT DOOR</b> Make good door – scrapes against floor. Make neat at entrance door, make good rust and replace missing screws (stainless steel). Make neat at face and striker plates.	No.	1		R -

QS Ref	Arch Ref	Description	Unit	Quantity	Rate	Amount
<b>E.52</b>	<b>M185</b>	<b>SERVICE BEDROOM 1 SLIDING DOOR</b> Service complete door system incl. sliding mechanisms, locking mechanisms, replace seals. x 1 (x 2 leaves) NB: <input type="checkbox"/> Make good face plate, striker plate, and lock – ensure flush with side of door stile <input type="checkbox"/> Ensure leaves slide readily	No.  Note	1		R -
<b>E.53</b>	<b>M186</b>	<b>EN-SUITE DOOR</b> Make good door – scrapes against floor. Make neat at entrance door, make good rust and replace missing screws (stainless steel). Make neat at face and striker plates.	No.	1		R -
<b>E.54</b>	<b>M187</b>	<b>BEDROOM 2 FRONT DOOR</b> Make good door – scrapes against floor. Make neat at entrance door, make good rust and replace missing screws (stainless steel). Make neat at face and striker plates.	No.	1		R -
<b>E.55</b>	<b>M188</b>	<b>SERVICE BEDROOM 2 SLIDING DOOR</b> Service complete door system incl. sliding mechanisms, locking mechanisms, replace seals. x 1 (x 2 leaves) NB: <input type="checkbox"/> Make good face plate, striker plate, and lock – ensure flush with side of door stile <input type="checkbox"/> Ensure leaves slide readily <input type="checkbox"/> Finish to match existing	No.  Note	1		R -
<b>E.56</b>	<b>M189</b>	<b>SERVICE BEDROOM 2 SLIDING SASH WINDOW</b> Service complete window systems incl. sliding mechanisms, locking mechanisms, replace seals. NB: <input type="checkbox"/> Make good face plate, striker plate, and lock – ensure flush with side of door stile <input type="checkbox"/> Ensure leaves slide readily <input type="checkbox"/> Finish to match existing	No.  Note	1		R -
<b>E.57</b>	<b>O4</b>	<b>ROOF EDGING</b> Make good rusting at fixings to edging strip, replace nails with stainless steel equivalent. Ensure seal between fixing and edging strip. Finish as per existing.	m	51		R -
<b>F</b>		<b>CABIN 2: EVERLASTING DAISY</b>				R -
<b>F.1</b>	<b>A23</b>	<b>REMOVE UNUSED GEYSERS</b> Take out and remove unused geysers from service storage unit, including blanking off. Make good and remove all wiring/electrical/plumbing components not in use, including blanking off and make safe. Connect and make good all solar geysers to corresponding solar panels (3 x). Ensure solar panels are in working order and are well within their respective service life. Ensure timber panels are removeable – utilise wingnuts to fasten.	No.  No.  No.	1  1  1		R -  Incl above  R -

QS Ref	Arch Ref	Description	Unit	Quantity	Rate	Amount
		SPECIFICATIONS AND INSTALLATION METHODOLOGY TO BE PROVIDED BY 3 SPECIALIST SUB CONTRACTORS.	Note			
<b>F.2</b>	<b>A24</b>	<b>REMOVE FLOOD LIGHT</b>				
		Remove floodlight overlooking braai area from cabin, including blanking off and make safe.	No.	1		R -
		Take out and remove electrical conduits including disconnect, blanking off and make safe.	m	10		R -
		Repair and fill resulting holes. Paint to match existing – full coats on wall with required undercoat.	m <sup>2</sup>	10		R -
		Remove light switch for floodlight, close cavity and make good all surrounding surfaces.	No.	1		R -
		Replace cabin light fixtures adjacent bathroom with Spazio 'Alcor Round 1L' 4531.4.30. Ensure LED bulb is of 3000 K.	No.	1		R -
		NB: Service fire extinguisher	Note			Incl under General M7
<b>F.3</b>	<b>A25</b>	<b>BATHROOM &amp; EN-SUITE SHOWER PLATFORMS</b>				
		Reconstruct shower decking and glass enclosures as per drawing SC004 Finishes schedule (Ensure that the decks can be lifted for				
		Decks sand down and sealed with penetrating oil	m <sup>2</sup>	6		R -
		Shower trays to be cleaned thoroughly, make good any water damage	No.	2		R -
		Drains to be cleaned thoroughly, make good any water damage	No.	2		R -
<b>F.4</b>	<b>A26</b>	<b>BATHROOM &amp; EN-SUITE SHOWER ROSES</b>				
		Replace all existing shower roses with the COBRA 'Zambezi Round Single Function Shower' FSWHR1BN-0GT0156.	No.	2		Rate Only
		Additional components req. COBRA 'Zambezi Shower Arm 331mm' FSACA2GN-0GT0150.				
		NB: Centre new shower rose arm to NEW replacement timber panel (sealed to match current panel to be replaced).	No.	2		Rate Only
<b>F.5</b>	<b>M190</b>	<b>REPLACE MISSING LATTE</b>				
		Replace missing latte members. Diameter to match existing as close as possible.	m	20		R -
		Make good all latte 'panels'.				
<b>F.6</b>	<b>M191</b>	<b>SOLAR GEYSER &amp; ENCLOSURE</b>				
		See A2/A23				
		Replace missing and loose latte members.				
		Ensure panels can be removed readily for repair work.				Incl under A23
<b>F.7</b>	<b>M192</b>	<b>EXTERIOR LIGHT SWITCH</b>				
		Ensure each switch circuit is in working order.	No.	1		R -
		Clean surfaces. Make good adjacent latte.	No.	1		R -
<b>F.8</b>	<b>M193</b>	<b>SOFFIT &amp; EAVES REPAIR</b>				
		Sand down ply soffits, reseal as per finishing schedule SC004.	m <sup>2</sup>	18		R -
		Make good all external timber beading & seal as per previous.	m	59		R -

QS Ref	Arch Ref	Description	Unit	Quantity	Rate	Amount
		Redirect copper water pipe as per line drawn (optional).	m	3		R -

QS Ref	Arch Ref	Description	Unit	Quantity	Rate	Amount
<b>F.9</b>	<b>M194</b>	<b>BEAMS AND POSTS</b> Sand down and make good all water damaged external beams and posts. Seal as per finishing schedule SC004. Refer to AD110-304 & 305 for area.	m	45		R -
<b>F.10</b>	<b>M195</b>	<b>EXTERNAL DECKING</b> Sand down and make good external decking. Seal as per finishing schedule SC004. Ensure fixings are not compromised and edge conditions are level. Refer to AD110-303 for area.	m <sup>2</sup>	25		R -
<b>F.11</b>	<b>M196</b>	<b>SEATING PLATFORM</b> Sand down and make good timber at seating adjacent to braai area – unstable in its current condition. Seal as per finishing schedule SC004. Replace gouged members. Approx. 1.75m <sup>2</sup> total.	m <sup>2</sup>	2		R -
<b>F.12</b>	<b>M197</b>	<b>LINING BOARD REPAIRS</b> Sand down linings, fascias and barge boards to raw timber, reseal as per finishing schedule SC004.  NB: Note balustrading requires sanding and refinishing	m m	63 20		R - R -
<b>F.13</b>	<b>M198</b>	<b>ENTRANCE GATE</b> Replace gate as per existing dimensions. Include cross-bracing and 'lock-rail'. Replace hinges with like – add a third one. Replace cabin hook with stainless steel equivalent – incl. screws.	No.	1		R -
<b>F.14</b>	<b>M199</b>	<b>CHAIN HOPPER</b> Replace missing chain hopper funnels, secure those which are loose. Ensure colours to match existing and make good all rust.	No.	1		R -
<b>F.15</b>	<b>M200</b>	<b>RUSTING BRACING</b> Make good rust on bracing, fasteners, and central disc.	No.	1		R -
<b>F.16</b>	<b>M201</b>	<b>ECO-TOWER DOOR BARREL BOLT</b> Replace door barrel bolt with stainless steel equivalent.	No.	1		R -
<b>F.17</b>	<b>M202</b>	<b>ECO-TOWER DOOR HINGES</b> Make good rust. Rehang door and realign to compensate for timber warpage. Sand down timber and reseal to match existing.	No.	3		R -

QS Ref	Arch Ref	Description	Unit	Quantity	Rate	Amount
<b>F.18</b>	<b>M203</b>	<b>BRAAI PLACE/FLUE/COWL MAINTENANCE</b>				
		All braai places to be fully serviced, including the following (NB: Make good all rust and material degradation):	Item	1		R -
		Braais are to be sanded and prepped for paint, and resprayed with heat resistant black paint as per braai manufacturer's recommendation and	m <sup>2</sup>	6		Incl above
		Flues to be sanded and prepped for paint, and resprayed with heat resistant black paint as per braai manufacturer's recommendation and spec.	No.	1		Incl above
		Make good internal workings and finishes incl. grate and grids – replace where needed.	No.	1		Incl above
		Service door panel hinges and closure mechanisms	No.	2		Incl above
		All flues & cowls to be fully serviced, including the following (NB: Make good all rust and material degradation):	Note			Incl above
		Metalwork to be sanded and prepped for paint, and resprayed with black paint as per braai manufacturer's recommendation and spec.	No.	1		Incl above
		Flues to be cleared and cleaned to ensure good draw	No.	1		Incl above
		Spark arrestors to be checked to ensure that they are all still operational	No.	1		Incl above
<b>F.19</b>	<b>M204</b>	<b>TIGHTEN CABLES</b>				
		Tighten all balustrade cables to same tension. Ensure all turnbuckle fasteners are in good working order. Make good rusting components. ALL – APPROX. x 51 individual cables.	m	102		R -
<b>F.20</b>	<b>M205</b>	<b>BALUSTRADING</b>				
		Sand down railing and posts to raw timber, reseal as per SC004 Finishes schedule.	m	20		R -
<b>F.21</b>	<b>M206</b>	<b>GREEN ROOFS – PITCHED ROOF</b>				
		Refill compartments with soil, look into using hessian soil blanket to enable soil retention – specialist to advise.	Item	1		R -
		Transplant existing species and add as needed with like plant species.				
		Remove irrigation entirely as it is not in use or service roof irrigation, relay piping or.				
		NB: Get pricing to match the Mbali Collection's tray system as an alternative.				
<b>F.22</b>	<b>M207</b>	<b>GREEN ROOFS – FLAT</b>				
		Remove dead vegetation, add planting to clear trays with like plant species.	Item	1		R -
		Remove irrigation entirely as it is not in use or service roof irrigation, relay piping or.				
		NB: Get pricing to match the Mbali Collection's tray system as an alternative.				
<b>F.23</b>	<b>M208</b>	<b>SOLAR (GEYSER) PANELS</b>				
		See A2/A23. Make good all connections, ensure rubberised components are not sun damaged, replace parts as needed.				Included in A2/A23

QS Ref	Arch Ref	Description	Unit	Quantity	Rate	Amount
F.24	M209	<b>EXTERNAL LIGHT FIXTURE</b> As per M193. Make good light fixture, treat rust on fixture and water damage at base of connection to soffit.	No.	1		R -
F.25	M210	<b>KITCHEN/DINING INTERNAL FLOORS</b> Sand down to raw timber, repair water damage, make good ember damage at fireplace, reseal timberwork as per SC004 Finishes schedule. Refer to AD110-303 for area.	m <sup>2</sup>	27		R -
F.26	M211	<b>KITCHEN/DINING INTERNAL FLOORS - FIREPLACE</b> Make good ember damage to timber floors adjacent fireplaces. Sand down to raw timber, repair water damage, make good ember damage at fireplace, reseal timberwork as per SC004 Finishes schedule. Approx. area impacted = ±1.5m <sup>2</sup> p/cabin	Note m <sup>2</sup>	1.5		R -
F.27	M212	<b>FIREPLACE (CRITICAL)</b> All fireplaces and chimneys to be fully serviced, including the following (NB: Make good all rust and material degradation) Fireplaces, steel plinth and backplate to be sanded and prepped for paint, and resprayed with heat resistant black paint as per fireplace manufacturer's recommendation and spec. Flues to be sanded and prepped for paint, and resprayed with heat resistant black paint as per fireplace manufacturer's recommendation and spec. Make good internal workings and finishes of fireplace incl. grate. Service door hinges and closure mechanisms Flues to be cleared and cleaned to ensure good draw Spark arrestors to be checked to ensure that they are all still operational NB: Make good leak at flue-roof junction.	Item No. No. No. No. No. No. No. Note	1 1 1 1 2 1 1 1		R - Incl above Incl above Incl above Incl above Incl above Incl above Incl above
F.28	M213	<b>SERVICE GABLE GLAZING</b> Clean and service bottom hung windows within gable ends (x2). Replace seals if required.	No.	2		R -
F.29	M214	<b>SERVICE KITCHEN/DINING FOLDING STACKING DOORS</b> Service complete door system incl. sliding mechanisms, locking mechanisms, replace seals. x 1 (x 5 Panels) NB: <input type="checkbox"/> Final door leaf doesn't close readily, door catch has failed etc. <input type="checkbox"/> Ensure stacking leaves locking catches lock from the same direction. Repair damaged finish to match existing	No. Note	1		R -

QS Ref	Arch Ref	Description	Unit	Quantity	Rate	Amount
<b>F.30</b>	<b>M215</b>	<b>SERVICE KITCHEN/DINING SLIDING DOORS</b> Service complete door system incl. sliding mechanisms, locking mechanisms, replace seals. x 1 (x 3 leaves) NB: <input type="checkbox"/> Make good face plate, striker plate, and lock – ensure flush with side of door stile. Locking mechanism inoperable, make good. <input type="checkbox"/> Ensure leaves slide readily <input type="checkbox"/> Finish to match existing	No.  Note	1		R -
<b>F.31</b>	<b>M216</b>	<b>SERVICE SLIDING SASH WINDOWS</b> Service complete window systems incl. sliding mechanisms, locking mechanisms, replace seals. Ensure gaps between window and frame are made good. NB: <input type="checkbox"/> Make good face plate, strike plates, replace missing pop- rivets <input type="checkbox"/> Ensure leaves slide readily <input type="checkbox"/> Repair damaged finish to match existing	No.  Note	2		R -
<b>F.32</b>	<b>M217</b>	<b>ELECTRICAL &amp; FIXTURES</b> <input type="checkbox"/> Light points and electrical sockets in working order – excepting see below points. Ensure that each switch turns on in the same direction - Bedroom 1 light not in working order - En-suite light switch not in working order - En-suite extractor fan switch not in working order <input type="checkbox"/> Service oven – check respective seals, control gauge - Internal light not in working order <input type="checkbox"/> Service stove top <input type="checkbox"/> Service extractor unit – check respective seals, filters, control panels - Replace lights not in working order <input type="checkbox"/> Ties into ensuring each light is of 3000K <input type="checkbox"/> See A6 – x1 to replace <input type="checkbox"/> See A7 Replace LED strips in bathrooms to ensure they run the full length of their respective walls. Approx. lengths of 3500mm & 2400mm p/wall respectively (x2 p/cabin, x1 p/honeymoon) Replace LED driver with discrete model to conceal behind 'perimeter pelmet'. Ensure colour temp. of 3000K	No.  m  No.	1  11.8  1		R - R - R -
<b>F.33</b>	<b>M218</b>	<b>WATER FILTER</b> Service water filter system, ensure flow rate is working correctly. NB: Ensure the below-sink plug point is installed as per regulations and is connected to the earth leakage supply.	No.  Note	1		R -

QS Ref	Arch Ref	Description	Unit	Quantity	Rate	Amount
<b>F.34</b>	<b>M219</b>	<b>SINK AREA (SEALING)</b>				
		Sand down interior of carcasses to remove water damage. Reseal as per SC004 Finishes	m <sup>2</sup>	2		R -
		Ensure seals of waste and trap are in working order of sink above.	Item	1		R -
		NB: Plug point potentially not compliant with regulations – check if connected to earth leakage supply.	Note			
<b>F.35</b>	<b>M220</b>	<b>DRAWER/DOOR FRONTS</b>				
		Sand down and respray all drawer fronts and cupboard doors. Colour to match existing as per SC005 Colour schedule.	m <sup>2</sup>	2		R -
		X10 Surfaces				
<b>F.36</b>	<b>M221</b>	<b>DRAWER RUNNERS</b>				
		Replace all drawer runners with heavy duty extension runners and soft closers.	Item	1		R -
		Service door hinges and add soft closers to doors of kitchenette unit (x3).				
		X 16 (x 8 pairs)				
<b>F.37</b>	<b>M222</b>	<b>KITCHENETTE KICKPLATE</b>				
		Sand down to raw timber, repair water damage, reseal timberwork as per SC004 Finishes schedule.	m	3		R -
<b>F.38</b>	<b>M223</b>	<b>SEALANT (KITCHEN TILES)</b>				
		Seal gap between timber and tiles with polyurethane flexible sealant as per Sikaflex 11FC (white). Make neat.	m	1		R -
<b>F.39</b>	<b>M224</b>	<b>SEALANT (KITCHEN SINK)</b>				
		Clean out gap between stainless steel and tiling and timber side members, reseal with polyurethane flexible sealant as per Sikaflex 11FC (white).	m	4		R -
		Clean grout, refill gaps between tiling where required. Colour to match existing.	m	5		R -
<b>F.40</b>	<b>M225</b>	<b>REFINISH BATHROOM &amp; EN-SUITE CEILINGS</b>				
		Sand down ceiling to raw timber, reseal as per SC004 Finishes schedule.	m <sup>2</sup>	16		R -
<b>F.41</b>	<b>M226</b>	<b>BATHROOM VANITIES</b>				
		Make good vanities in bathroom and en-suite, sand down to raw timber, reseal as per SC004 Finishes schedule.	m <sup>2</sup>	1		R -
		x 2				
		Reseal around perimeter at tile-timber junction with polyurethane flexible sealant as per Sikaflex 11FC (white).	m	3		R -
		x 2				
<b>F.42</b>	<b>M227</b>	<b>BATHROOM VANITIES SUBSTRUCTURE</b>				
		Make good substructure, ensure members are level, sand down, make good at tile juncture and seal with polyurethane flexible sealant as per Sikaflex 11FC (white).	No.	2		R -

QS Ref	Arch Ref	Description	Unit	Quantity	Rate	Amount
F.43	M228	<b>BATHROOM &amp; EN-SUITE SKIRTING JUNCTURES</b> Clean out gap between tiling and timber floor. Reseal with polyurethane flexible sealant as per Sikaflex 11FC (white). Refer to AD110-303 for areas.  NB: Sealant application not to take place at shower duck-board	m  Note	18		R -
F.44	M229	<b>BATHROOM/ EN-SUITE TILING</b> Make neat tiling in bathroom and en- suite. Clean grout from mould, regrout at degraded application (to match existing).	m <sup>2</sup>	3		R -
F.45	M230	<b>SERVICE BATHROOM &amp; EN-SUITE SLIDING DOORS</b> Service complete door system incl. sliding mechanisms, locking mechanisms, replace seals. x 2 (x 2 leaves p/door) NB: <input type="checkbox"/> Make good face plate, striker plate and lock – ensure flush with side of door stile <input type="checkbox"/> Ensure leaves slide readily <input type="checkbox"/> Finish to match existing	No.  Note	1		R -
F.46	M231	<b>BATHROOM FLOOR</b> Sand down to raw timber, repair water damage, make good where door has been catching on floor, reseal timberwork as per SC004 Finishes Schedule. Refer to AD110-303 for area.	No.	1		R -
F.47	M232	<b>BATHROOM FRONT DOOR</b> Make good door – scrapes against floor, reinstall striker plate, make good rust and replace missing screws (stainless steel).	No.	1		R -
F.48	M233	<b>BEDROOM 2 FRONT DOOR</b> Make good door – scrapes against floor. Make neat at entrance door, make good rust and replace missing screws (stainless steel). Make neat at face and striker plates.	No.	1		R -
F.49	M234	<b>SERVICE BEDROOM 2 SLIDING DOOR</b> Service complete door system incl. sliding mechanisms, locking mechanisms, replace seals. x 1 (x 2 leaves) NB: <input type="checkbox"/> Make good face plate, striker plate, and lock – ensure flush with side of door stile <input type="checkbox"/> Doors struggle to lock, make good <input type="checkbox"/> Ensure leaves slide readily <input type="checkbox"/> Finish to match existing Note moisture damage to floor – make good	No.  Note	1		R -
F.50	M235	<b>BEDROOM 2 CLOTHING WALL BOX</b> Make plumb.	Item	1		R -
F.51	M236	<b>BEDROOM 1 FRONT DOOR</b> Make good door – scrapes against floor. Make neat at entrance door, make good rust and replace missing screws (stainless steel). Make neat at face & striker plates.	No.	1		R -

QS Ref	Arch Ref	Description	Unit	Quantity	Rate	Amount
<b>F.52</b>	<b>M237</b>	<b>SERVICE BEDROOM 1 SLIDING DOOR</b> Service complete door system incl. sliding mechanisms, locking mechanisms, replace seals. x 1 (x 2 leaves) NB: <input type="checkbox"/> Make good face plate, striker plate, and lock – ensure flush with side of door stile <input type="checkbox"/> Ensure leaves slide readily	No.  Note	1		R -
<b>F.53</b>	<b>M238</b>	<b>SERVICE BEDROOM 1 SLIDING SASH WINDOW</b> Service complete window systems incl. sliding mechanisms, locking mechanisms, replace seals. NB: <input type="checkbox"/> Make good face plate, striker plate, and lock – ensure flush with side of door stile <input type="checkbox"/> Ensure leaves slide readily	No.  Note	1		R -
<b>F.54</b>	<b>M239</b>	<b>EN-SUITE DOOR</b> Make neat at entrance door, make good rust and replace missing screws (stainless steel). Make neat at face & striker plates.	No.	1		R -
<b>F.55</b>	<b>O5</b>	<b>ROOF EDGING</b> Make good rusting at fixings to edging strip, replace nails with stainless steel equivalent. Ensure seal between fixing and edging strip. Finish as per existing.	m	51		R -
<b>G</b>		<b>CABIN 1: IRIS</b>				R -
<b>G.1</b>	<b>A27</b>	<b>REMOVE UNUSED GEYSERS</b> Take out and remove unused geysers from service storage unit, including blanking off. Make good and remove all wiring/electrical/plumbing components not in use, including blanking off and make safe. Connect and make good all solar geysers to corresponding solar panels (3 x). Ensure solar panels are in working order and are well within their respective service life. Ensure timber panels are removeable – utilise wingnuts to fasten.  SPECIFICATIONS AND INSTALLATION METHODOLOGY TO BE PROVIDED BY 3 SPECIALIST SUB CONTRACTORS.	No. No. No.  Note	1 1 1		R - Incl above R -
<b>G.2</b>	<b>A28</b>	<b>REMOVE FLOOD LIGHT</b> Remove floodlight overlooking braai area from cabin, including blanking off and make safe. Take out and remove electrical conduits including disconnect, blanking off and make safe.  Repair and fill resulting holes. Paint to match existing – full coats on wall with required undercoat. Remove light switch for floodlight, close cavity and make good all surrounding surfaces. Replace cabin light fixtures adjacent bathroom with Spazio 'Alcor Round 1L' 4531.4.30. Ensure LED bulb is of 3000 K. NB: Service fire extinguisher	No. m  m <sup>2</sup> No. No. No.	1 10 10 1 1 1		R - R - R - R - R - Incl under general M7

QS Ref	Arch Ref	Description	Unit	Quantity	Rate	Amount
<b>G.3</b>	<b>A29</b>	<b>BATHROOM &amp; EN-SUITE SHOWER PLATFORMS</b>				
		Reconstruct shower decking and glass enclosures as per drawing AD 110 - 660/661 and SC004 Finishes schedule (Ensure that the decks can be lifted for cleaning purposes):	Note			
		Decks sand down and sealed with penetrating oil	m <sup>2</sup>	6	R	-
		Shower trays to be cleaned thoroughly, make good any water damage	No.	2	R	-
		Drains to be cleaned thoroughly, make good any water damage	No.	2	R	-
<b>G.4</b>	<b>A30</b>	<b>BATHROOM &amp; EN-SUITE SHOWER ROSES</b>				
		Replace all existing shower roses with the COBRA 'Zambezi Round Single Function Shower' FSWHR1BN-0GT0156.	No.	2		Rate Only
		Additional components req. COBRA 'Zambezi Shower Arm 331mm' FSACA2GN-0GT0150. NB: Centre new shower rose arm to NEW replacement timber panel (sealed to match current panel to be replaced).	No.	2		Rate Only
<b>G.5</b>	<b>M240</b>	<b>REPLACE MISSING LATTE</b>				
		Replace missing latte members. Diameter to match existing as close as possible. Make good all latte 'panels'.	m	20	R	-
<b>G.6</b>	<b>M241</b>	<b>SOLAR GEYSER &amp; ENCLOSURE</b>				
		See A2/A27	m	10	R	-
		Replace missing and loose latte members. Ensure panels can be removed readily for repair work.				
<b>G.7</b>	<b>M242</b>	<b>EXTERIOR LIGHT SWITCH</b>				
		Replace damaged box. Ensure each switch circuit is in working order.	No.	1	R	-
		Clean surfaces. Make good adjacent latte.	No.	1	R	-
<b>G.8</b>	<b>M243</b>	<b>SOFFIT &amp; EAVES REPAIR</b>				
		Sand down ply soffits, reseal as per finishing schedule SC004.	m <sup>2</sup>	18	R	-
		Replace to match existing where water damage is extensive (i.e. second image).	m <sup>2</sup>	10	R	-
		Make good all external timber beading & seal as per previous.	m	59	R	-
<b>G.9</b>	<b>M244</b>	<b>FASCIA &amp; BARGE BOARD REPAIRS</b>				
		Sand down fascias and barge boards to raw timber, reseal as per finishing schedule SC004. At least x 3 boards.	m	63	R	-
<b>G.10</b>	<b>M245</b>	<b>ENTRANCE GATE</b>				
		Replace gate as per existing dimensions. Include cross-bracing and 'lock-rail'. Replace hinges with like – add a third one.	No.	1	R	-
		Replace splitting cross member of 'frame' above.				
		Replace cabin hook with stainless steel equivalent – incl. screws.				

QS Ref	Arch Ref	Description	Unit	Quantity	Rate	Amount
<b>G.11</b>	<b>M246</b>	<b>BEAMS AND POSTS</b> Sand down and make good all water damaged external beams and posts. Remove sealant, specialist to advise on corrective measures. Refer to AD110-301, AD110-302 for area.	m	45		R -
<b>G.12</b>	<b>M247</b>	<b>EXTERNAL DECKING</b> Sand down and make good external decking. Seal as per finishing schedule SC004. Ensure fixings are not compromised and edge conditions are level. Refer to AD110-300 for area.	m <sup>2</sup>	25		R -
<b>G.13</b>	<b>M248</b>	<b>SEATING PLATFORM</b> Sand down and make good timber at seating adjacent to braai area – unstable in its current condition. Seal as per finishing schedule SC004. Replace gouged members. Approx. 1.75m <sup>2</sup> total.	m <sup>2</sup>	1.75		R -
<b>G.14</b>	<b>M249</b>	<b>CHAIN HOPPER</b> Replace missing chain hopper funnels, secure those which are loose. Ensure colours to match existing and make good all rust. NB: Clear out all plant matter	No.	1		R -
<b>G.15</b>	<b>M250</b>	<b>RUSTING BRACING</b> Make good rust on bracing, fasteners, and central disc.	No.	1		R -
<b>G.16</b>	<b>M251</b>	<b>ECO-TOWER DOOR BARREL BOLT</b> Replace door barrel bolt with stainless steel equivalent.	No.	1		R -
<b>G.17</b>	<b>M252</b>	<b>ECO-TOWER DOOR HINGES</b> Make good rust. Rehang door and realign to compensate for timber warpage. Sand down timber and reseal to match existing.	No.	3		R -
<b>G.18</b>	<b>M253</b>	<b>SERVICE ECO-LOO</b> Service eco-loo. Replace and make good all rusted components as per. manufacturer's spec. Remove plant growth. Ensure no leaks are present within.	No.	2		Rate only
<b>G.19</b>	<b>M254</b>	<b>SERVICE ECO-LOO</b> Make good rust on vent piping and extractor fans. Ensure extractor fans are in working order. NB: Make good rust on clamp	No.	2		Rate only

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QS Ref	Arch Ref	Description	Unit	Quantity	Rate	Amount
G.26	M261	<b>EXTERNAL LIGHT FIXTURE</b> As per M243. Make good light fixture, treat rust on fixture and water damage at base of connection to soffit.	No.	1		R -
G.27	M262	<b>KITCHEN/DINING INTERNAL FLOORS</b> Sand down to raw timber, repair water damage, reseal timberwork as per SC004 Finishes schedule. Refer to AD110-300 for area.	m <sup>2</sup>	27		R -
G.28	M263	<b>KITCHEN/DINING INTERNAL FLOORS - FIREPLACE</b> Make good ember damage to timber floors adjacent fireplaces. Sand down to raw timber, repair water damage, make good ember damage at fireplace, reseal timberwork as per SC004 Finishes schedule. Approx. area impacted = ±1.5m <sup>2</sup> p/cabin	Note m <sup>2</sup>	2		R -
G.29	M264	<b>FIREPLACE (CRITICAL)</b> All fireplaces and chimneys to be fully serviced, including the following (NB: Make good all rust and material degradation) Fireplaces, steel plinth and backplate to be sanded and prepped for paint, and resprayed with heat resistant black paint as per fireplace manufacturer's recommendation and spec. Flues to be sanded and prepped for paint, and resprayed with heat resistant black paint as per fireplace manufacturer's recommendation and spec. Make good internal workings and finishes of fireplace incl. grate. Service door hinges and closure mechanisms Flues to be cleared and cleaned to ensure good draw Spark arrestors to be checked to ensure that they are all still operational NB: Handle is broken. Damage to ceiling – make good. Ensure seal around ceiling is in working order.	Item No. No. No. No. No. No. Note	1 1 1 1 1 1 1		R - Incl above Incl above Incl above Incl above Incl above Incl above
G.30	M265	<b>SERVICE KITCHEN/DINING FOLDING STACKING DOORS</b> Service complete door system incl. sliding mechanisms, locking mechanisms, replace seals. x 1 (x 5 Panels) NB: <input type="checkbox"/> Door catch has failed etc. <input type="checkbox"/> Ensure stacking leaves locking catches lock from the same direction. <input type="checkbox"/> Doors scrape against decking. Repair damaged finish to match existing	No. Note	1		R -
G.31	M266	<b>SERVICE GABLE GLAZING</b> Clean and service bottom hung windows within gable ends (x2). Replace seals if required.	No.	2		R -

QS Ref	Arch Ref	Description	Unit	Quantity	Rate	Amount
<b>G.32</b>	<b>M267</b>	<b>SERVICE KITCHEN/DINING SLIDING DOORS</b> Service complete door system incl. sliding mechanisms, locking mechanisms, replace seals. x 1 (x 3 leaves) NB: <input type="checkbox"/> Make good face plate, striker plate, and lock – ensure flush with side of door stile. <input type="checkbox"/> Ensure leaves slide readily <input type="checkbox"/> Replace cracked pane of glass – to match existing type <input type="checkbox"/> Finish to match existing	No.  Note	1		R -
<b>G.33</b>	<b>M268</b>	<b>SERVICE SLIDING SASH WINDOWS</b> Service complete window systems incl. sliding mechanisms, locking mechanisms, replace seals. NB: <input type="checkbox"/> Make good face plate, strike plates, replace missing pop- rivets <input type="checkbox"/> Ensure leaves slide readily <input type="checkbox"/> Repair damaged finish to match existing	No.  Note	2		R -
<b>G.34</b>	<b>M269</b>	<b>ELECTRICAL &amp; FIXTURES</b> <input type="checkbox"/> Light points and electrical sockets in working order – excepting see below points. Ensure that each switch turns on in the same direction - Switch of plug points adjacent microwave not in working order - Bathroom light switch not in working order - En-suite extractor fan switch not in working order <input type="checkbox"/> Service oven – check respective seals, control gauge - Control gauge not in working order - Internal light not in working order <input type="checkbox"/> Service stove top <input type="checkbox"/> Service extractor unit – check respective seals, filters, control panels - Replace lights not in working order <input type="checkbox"/> Ties into ensuring each light is of 3000K <input type="checkbox"/> See A6 – x1 to replace <input type="checkbox"/> See A7 Replace LED strips in bathrooms to ensure they run the full length of their respective walls. Approx. lengths of 3500mm & 2400mm p/wall respectively (x2 p/cabin, x1 p/honeymoon) Replace LED driver with discrete model to conceal behind 'perimeter pelmet'. Ensure colour temp. of 3000K	No.  m  No.	1  6  1		R - R -
<b>G.35</b>	<b>M270</b>	<b>WATER FILTER</b> Service water filter system, ensure flow rate is working correctly. NB: Ensure the below-sink plug point is installed as per regulations and is connected to the earth leakage supply.	No.  Note	1		R -

QS Ref	Arch Ref	Description	Unit	Quantity	Rate	Amount
<b>G.36</b>	<b>M271</b>	<b>SINK AREA (SEALING)</b> Sand down interior of carcasses to remove water damage. Reseal as per SC004 Finishes Ensure seals of waste and trap are in working order of sink above.	m <sup>2</sup>	2		R -
			Item	2		R -
<b>G.37</b>	<b>M272</b>	<b>SEALANT (KITCHEN TILES)</b> Remove grout from and seal gap between timber and tiles with polyurethane flexible sealant as per Sikaflex FC11 (white).	m	1		R -
<b>G.38</b>	<b>M273</b>	<b>SEALANT (KITCHEN SINK)</b> Clean out gap between stainless steel and tiling and timber side members, reseal with polyurethane flexible sealant as per Sikaflex Clean grout, refill gaps between tiling where required. Colour to match existing.	m	4		R -
			m	5		R -
<b>G.39</b>	<b>M274</b>	<b>DRAWER RUNNERS</b> Replace all drawer runners with heavy duty extension runners and soft closers. Service door hinges and add soft closers to doors of kitchenette unit (x3). X 16 (x 8 pairs) NB: Note drawer fronts which are clashing, make good	Item	1		R -
<b>G.40</b>	<b>M275</b>	<b>DRAWER/DOOR FRONTS</b> Sand down and respray all drawer fronts and cupboard doors. Colour to match existing as per SC005 Colour schedule. X10 Surfaces	m <sup>2</sup>	2		R -
<b>G.41</b>	<b>M276</b>	<b>KITCHENETTE KICKPLATE</b> Sand down to raw timber, repair water damage, reseal timberwork as per SC004 Finishes schedule.	m	3		R -
<b>G.42</b>	<b>M277</b>	<b>BATHROOM VANITIES</b> Make good vanities in bathroom and en-suite, sand down to raw timber, reseal as per SC004 Finishes schedule. Reseal around perimeter at tile-timber junction with polyurethane flexible sealant as per Sikaflex 11FC (white). x 2	m <sup>2</sup>	1		R -
			m	3		R -
<b>G.43</b>	<b>M278</b>	<b>BATHROOM VANITIES SUBSTRUCTURE</b> Make good substructure, ensure members are level, sand down, make good at tile juncture. Seal with polyurethane flexible sealant as per Sikaflex 11FC (white).	No.	2		R -
			m	3		R -
<b>G.44</b>	<b>M279</b>	<b>BATHROOM &amp; EN-SUITE SKIRTING JUNCTURES</b> Clean out gap between tiling and timber floor. Reseal with polyurethane flexible sealant as per Sikaflex 11FC (white). Refer to AD110-300 for areas. NB: Sealant application not to take place at shower duck-board	m	18		R -
			Note			

QS Ref	Arch Ref	Description	Unit	Quantity	Rate	Amount
G.45	M280	<b>BATHROOM TILING</b> Make neat tiling in bathroom and en- suite. Clean grout from mould, regrout at degraded application (to match existing).	m <sup>2</sup>	3		R -
G.46	M281	<b>SERVICE BATHROOM &amp; EN-SUITE SLIDING DOORS</b> Service complete door system incl. sliding mechanisms, locking mechanisms, replace seals. x 2 (x 2 leaves p/door) NB: <input type="checkbox"/> Make good face plate, striker plate and lock – ensure flush with side of door stile <input type="checkbox"/> Ensure leaves slide readily	No.  Note	1		R -
G.47	M282	<b>BATHROOM, EN-SUITE, BEDROOM 1 &amp; 2 FRONT DOORS</b> Make neat at doors, reinstall striker plate, replace missing screws (stainless steel). Ensure all screws are the same. Make neat threshold plate. Door scraping against floor, make good.	No.	3		R -
G.48	M283	<b>BEDROOM 2 SLIDING DOOR</b> Service complete door system incl. sliding mechanisms, locking mechanisms, replace seals. x 1 (x 2 leaves) NB: <input type="checkbox"/> Make good face plate, striker plate, and lock – ensure flush with side of door stile <input type="checkbox"/> Ensure leaves slide readily <input type="checkbox"/> Replace missing pop rivets <input type="checkbox"/> Finish to match existing	No.  Note	1		R -
G.49	O6	<b>ROOF EDGING</b> Make good rusting at fixings to edging strip, replace nails with stainless steel equivalent. Ensure seal between fixing and edging strip. Finish as per existing.	m	51		R -
H		<b>CABIN 6: PALMIET HONEYMOON STUDIO</b>				R -
H.1	A31	<b>REMOVE UNUSED &amp; REMOVED GEYSER CONNECTIONS</b> Take out and remove unused geysers from service storage unit, including blanking off. Make good and remove all wiring/electrical/plumbing components not in use, including blanking off and make safe. Make neat at prior hot water junction, make good water damage. Connect and make good all solar geysers to corresponding solar panels (3 x). Ensure solar panels are in working order and are well within their respective service life. Ensure timber panels are removeable – utilise wingnuts to fasten.  SPECIFICATIONS AND INSTALLATION METHODOLOGY TO BE PROVIDED BY 3 SPECIALIST SUB CONTRACTORS.	No. No. No. No.  Note	1 1 1 1		R - Incl above R - R -

QS Ref	Arch Ref	Description	Unit	Quantity	Rate	Amount
H.2	A32	<b>REMOVE FLOOD LIGHT</b> Remove floodlight overlooking braai area from cabin, including blanking off and make safe. Take out and remove electrical conduits including disconnect, blanking off and make safe.  Repair and fill resulting holes. Paint to match existing – full coats on wall with required undercoat. Remove light switch for floodlight, close cavity and make good all surrounding surfaces. Replace cabin light fixtures adjacent bathroom with Spazio 'Alcor Round 1L' 4531.4.30. Ensure LED bulb is of 3000 K.	No. m  m <sup>2</sup> No. No.	1 10  10 1 3		R R  R R -
H.3	A33	<b>BATHROOM &amp; EN-SUITE SHOWER PLATFORMS</b> Reconstruct shower decking and glass enclosures as per drawing AD 110 - 660/661 and SC004 Finishes schedule (Ensure that the decks can be lifted for cleaning purposes): Decks sand down and sealed with penetrating oil Shower tray to be cleaned thoroughly, make good any water damage Drain to be cleaned thoroughly, make good any water damage	Note  m <sup>2</sup> No. No.	  3 1 1		R R R -
H.4	M284	<b>REPLACE MISSING LATTE</b> Replace missing latte members. Diameter to match existing as close as possible. Make good all latte 'panels'.	m	20		R -
H.5	M285	<b>REPLACE MISSING LATTE</b> NB: Missing latte at window intentional. NB: At previous window position, refit and fill with correctly sized latte members.	m	10		R -
H.6	M286	<b>SOLAR GEYSER &amp; ENCLOSURE</b> See A2/A31 Replace missing and loose latte members. Ensure panels can be removed readily for repair				Included in A2/A31
H.7	M287	<b>EXTERIOR LIGHT SWITCH</b> Ensure each switch circuit is in working order. Clean surfaces. Make good adjacent latte.	No. No.	1 1		R R -
H.8	M288	<b>SOFFIT &amp; EAVES REPAIR</b> Sand down ply soffits, reseal as per finishing schedule SC004. Replace to match existing where water damage is extensive (i.e. second image). Make good all external timber beading & seal as per previous.	m <sup>2</sup> m <sup>2</sup> m	18 10 59		R R R -
H.9	M289	<b>CONCEAL CABLE</b> Conceal visible cable. If unused remove – adjacent bathroom exterior window.	Item	1		R -
H.10	M290	<b>BEAMS AND POSTS</b> Sand down and make good all water damaged external beams and posts.	m	45		R -

QS Ref	Arch Ref	Description	Unit	Quantity	Rate	Amount
H.11	M291	<b>EXTERNAL DECKING</b> Sand down and make good external decking. Seal as per finishing schedule SC004. Ensure fixings are not compromised and edge conditions are level. Refer to AD110-315 for area.	m <sup>2</sup>	27		R -
H.12	M292	<b>SEATING &amp; BRAAI PREP. PLATFORMS</b> Sand down and make good timber at seating adjacent to braai area – unstable in its current condition. Seal as per finishing schedule SC004. Approx. 2m <sup>2</sup> total.	m <sup>2</sup>	1.75		R -
H.13	M293	<b>CHAIN HOPPER</b> Replace missing chain hopper funnels, secure those which are loose. Ensure colours to match existing and make good all rust.	No.	1		R -
H.14	M294	<b>RUSTING BRACING</b> Make good rust on bracing, fasteners, and central disc.	No.	2		R -
H.15	M295	<b>ECO-TOWER DOOR BARREL BOLTS</b> Replace door barrel bolts with stainless steel equivalent. Make good door frames – bowing and do not close readily. Make good at floor plates for lower bolts. NB: Both top and bottom	No.	8		R -
H.16	M296	<b>ECO-TOWER DOOR HINGES</b> Make good rust. Rehang door and realign to compensate for timber warpage. Sand down timber and reseal to match existing.	No.	12		R -
H.17	M297	<b>RESEAL TIMBER</b> Sand down to raw, consistent timber, repair water damage, reseal timberwork as per SC004 Finishes schedule. Refer to AD110-315, AD110-316, AD110-317, AD110-318 for area.	m <sup>2</sup>	6		R -
H.18	M298	<b>MAKE GOOD AT LEAK 1</b> Make good at leak.	No.	1		R -
H.19	M299	<b>MAKE GOOD AT LEAK 2</b> Make good at leak.	No.	1		R -
H.20	M300	<b>MAKE NEAT WATER PIPING</b> Make neat water piping – plumb and level in the corresponding areas.	No.	1		R -

QS Ref	Arch Ref	Description	Unit	Quantity	Rate	Amount
H.21	M301	<b>BRAAI PLACE/FLUE/COWL MAINTENANCE</b> All braai places to be fully serviced, including the following (NB: Make good all rust and material degradation): Braais are to be sanded and prepped for paint, and resprayed with heat resistant black paint as per braai manufacturer's recommendation and Flues to be sanded and prepped for paint, and resprayed with heat resistant black paint as per braai manufacturer's recommendation and spec. Make good internal workings and finishes incl. grate and grids – replace where needed. Service door panel hinges and closure mechanisms All flues & cowls to be fully serviced, including the following (NB: Make good all rust and material degradation): Metalwork to be sanded and prepped for paint, and resprayed with black paint as per braai manufacturer's recommendation and spec. Flues to be cleared and cleaned to ensure good draw Spark arrestors to be checked to ensure that they are all still operational	Item  m <sup>2</sup>  No.  No.  No.  No.  No.  No.	1  6  1  1  1  1  1  1		R  Incl above  Incl above  Incl above  Incl above  Incl above  Incl above  Incl above
H.22	M302	<b>TIGHTEN CABLES</b> Tighten all balustrade cables to same tension. Ensure all turnbuckle fasteners are in good working order. Make good rusting components. ALL – APPROX. x 51 individual cables.	m	102		R -
H.23	M303	<b>BALUSTRADING</b> Sand down railing and posts to raw timber, reseal as per SC004 Finishes schedule.	m	20		R -
H.24	M304	<b>BRACKET POST</b> Make good unaligned 'bracket post' pins – at intermediary posts. Eng. to advise.	No.	6		R -
H.25	M305	<b>SERVICE ECO-LOO (CRITICAL)</b> Service eco-loo. Replace and make good all rusted components as per. manufacturer's spec. Remove plant growth. Ensure no leaks are present within. Specialist to look into fly and smell (interior of bathroom) issue. The Palmiet Honeymoon Suite has more of a problem than the other cabins in this regard.	No.	1		Rate only
H.26	M306	<b>SERVICE ECO-LOO</b> As per M8. Make good rust on vent piping and extractor fans. Ensure extractor fans are in working order. NB: Make good rust on clamp and remove debris.	No.	2		Rate only
H.27	M307	<b>WALKWAY ROOF AT BRAAI AREA</b> Make neat nails to latte walkway 'roof'-specifically adjacent braai area.	Item	1		R -

QS Ref	Arch Ref	Description	Unit	Quantity	Rate	Amount
H.28	M308	<b>GREEN ROOFS – PITCHED ROOF</b> Refill compartments with soil, look into using hessian soil blanket to enable soil retention – specialist to advise. Transplant existing species and add as needed with like plant species. Remove irrigation entirely as it is not in use or service roof irrigation, relay piping or. NB: Get pricing to match the Mbali Collection's tray system as an alternative.	Item	1		R -
H.29	M309	<b>GREEN ROOFS – FLAT (IMPORTANT)</b> Weed trays. Remove irrigation entirely as it is not in use or service roof irrigation, relay piping or. NB: Get pricing to match the Mbali Collection's tray system as an alternative.	Item	1		R -
H.30	M310	<b>SOLAR (GEYSER) PANELS</b> See A2/A31. Make good all connections, ensure rubberised components are not sun damaged, replace parts as needed.				Included in A2/A31
H.31	M311	<b>GUTTERS</b> Remove plant matter and debris from drainpipes. Repair any resulting moisture damage from overflow.	Item	1		R -
H.32	M312	<b>ENTRANCE GATE</b> Make good entrance gate. Ensure barrel bolt is level.	No.	1		R -
H.33	M313	<b>SERVICE GATE</b> Make good service gate. Replace barrel bolt with stainless steel equivalent.	No.	1		R -
H.34	M314	<b>LIVING SPACE INTERNAL FLOORS</b> Sand down to raw timber, repair water damage, reseal timberwork as per SC004 Finishes schedule. Refer to AD110-315 for area.	m <sup>2</sup>	27		R -
H.35	M315	<b>KITCHEN/DINING INTERNAL FLOORS - FIREPLACE</b> Make good ember damage to timber floors adjacent fireplaces. Sand down to raw timber, repair water damage, make good ember damage at fireplace, reseal timberwork as per SC004 Finishes schedule. Approx. area impacted = ±1.5m <sup>2</sup> p/cabin	Note m <sup>2</sup>	1.5		R -

QS Ref	Arch Ref	Description	Unit	Quantity	Rate	Amount
H.36	M316	<b>FIREPLACE (CRITICAL)</b> All fireplaces and chimneys to be fully serviced, including the following (NB: Make good all rust and material degradation) Fireplaces, steel plinth and backplate to be sanded and prepped for paint, and resprayed with heat resistant black paint as per fireplace manufacturer's recommendation and spec. Flues to be sanded and prepped for paint, and resprayed with heat resistant black paint as per fireplace manufacturer's recommendation and spec. Make good internal workings and finishes of fireplace incl. grate. Service door hinges and closure mechanisms Flues to be cleared and cleaned to ensure good draw Spark arrestors to be checked to ensure that they are all still operational NB: Handle is broken. Damage to ceiling – make good. Ensure seal around ceiling is in working order.	Item No. No. No. No. No. No. No. Note	1 1 1 1 1 1 1 1		R - Incl above Incl above Incl above Incl above Incl above Incl above
H.37	M317	<b>SERVICE GABLE GLAZING</b> Clean and service bottom hung windows within gable ends (x2). Replace seals if required.	No.	2		R -
H.38	M318	<b>SERVICE LIVING SPACES' SLIDING DOORS</b> Service complete door system incl. sliding mechanisms, locking mechanisms, replace seals. x 3 (x 3 leaves p/door for 2, x 4 leaves for 1) NB: <input type="checkbox"/> Make good face plate, striker plate, and lock – ensure flush with side of door stile. <input type="checkbox"/> Ensure leaves slide readily <input type="checkbox"/> In instances of missing pop-rivets - replace <input type="checkbox"/> Finish to match existing	No. Note	3		R -
H.39	M319	<b>SERVICE SLIDING SASH WINDOWS</b> Service complete window systems incl. sliding mechanisms, locking mechanisms, replace seals. NB: <input type="checkbox"/> Make good face plate, strike plates, replace missing pop- rivets <input type="checkbox"/> Ensure leaves slide readily <input type="checkbox"/> Repair damaged finish to match existing	No. Note	1		R -

QS Ref	Arch Ref	Description	Unit	Quantity	Rate	Amount
H.40	M320	<b>ELECTRICAL &amp; FIXTURES</b> <input type="checkbox"/> Light points and electrical sockets in working order – excepting see below points. Ensure that each switch turns on in the same direction - See following M321, 322, 323 - Bathroom light switch not in working order - See M340, 341 regarding bathroom LED strip - Replace all downlight bulbs with corresponding 3000K LED bulbs <input type="checkbox"/> New oven – check respective seals, control gauge <input type="checkbox"/> Service stove top (potential to replace with model and make corresponding to the new oven – price) <input type="checkbox"/> Service extractor unit – check respective seals, filters, control panels - Replace lights not in working order <input type="checkbox"/> Ties into ensuring each light is of 3000K <input type="checkbox"/> See A6 – x3 to replace Replace LED strips in bathrooms to ensure they run the full length of their respective walls. Approx. lengths of 3500mm & 2400mm p/wall respectively (x2 p/cabin, x1 p/honeymoon) Replace LED driver with discrete model to conceal behind 'perimeter pelmet'. Ensure colour temp. of 3000K	Item	1		R -
			m	5.9		R -
			No.	1		R -
H.41	M321	<b>WATER FILTER</b> Service water filter system, ensure flow rate is working correctly.	No.	1		R -
H.42	M322	<b>FLOOR PLUG BOXES</b> Make good electrical floor boxes, replace broken/damaged components. Ensure all plug points are in working order.	No.	2		R -
H.43	M323	<b>ELECTRICAL SWITCHES</b> Ensure all plug point covers are of the same type. Ensure each is level and on the same plane. X5, X1 Multiplug	No.	5		R -
H.44	M324	<b>SHELVING UNIT</b> Make good tall shelving unit	No.	1		R -
H.45	M325	<b>KITCHEN CUPBOARD</b> Make good kitchen cabinet. Service door hinges and add soft closers to doors of kitchenette unit (x3). NB: Note drawer fronts which are clashing make good. Sand down and respray all cupboard doors (x4). Colour to match existing as per SC005 Colour schedule.	No.	1		R -
			m <sup>2</sup>	2		R -
H.46	M326	<b>BATHROOM VANITY</b> Make good vanity in bathroom, sand down to raw timber, reseal as per SC004 Finishes schedule. Reseal around perimeter at tile-timber junction with polyurethane flexible sealant as per Sikaflex 11FC (white).	No.	1		R -

QS Ref	Arch Ref	Description	Unit	Quantity	Rate	Amount
H.47	M327	<b>BATHROOM VANITY SUBSTRUCTURE</b> Make good substructure, ensure members are level, sand down, make good at tile juncture & seal with polyurethane flexible sealant as per Sikaflex 11FC (white). Paint underside of timber vertical members. NB: Make good trap connection to basin outlet.	No.	1		R -
H.48	M328	<b>VANITY FAUCETS</b> Make good beginnings of corrosion on faucets.	Pair	1		R -
H.49	M329	<b>VANITY SPOUT</b> Make good, secure vanity spout – ensure centred to basin and is secure.	No.	1		R -
H.50	M330	<b>BATHROOM SKIRTING &amp; BATH JUNCTURES</b> Sand down skirtings to raw timber, repair moisture damage, reseal timberwork as per SC004 Finishes schedule. Clean out gap between tiling and timber skirtings. Reseal with polyurethane flexible sealant as per Sikaflex 11FC (white). Refer to AD110-315 for areas. NB: Sealant application not to take place at shower duck-board	m  Note	9		R -
H.51	M331	<b>BATHROOM FLOOR</b> Sand down to raw timber, repair water damage, reseal timberwork as per SC004 Finishes schedule. Refer to AD110-315 for areas.	m <sup>2</sup>	10		R -
H.52	M332	<b>TILING</b> Make neat, clean grout of tiling.	m <sup>2</sup>	1.5		R -
H.53	M333	<b>SHOWER ROSE</b> Make neat. Secure shower rose.	No.	1		R -
H.54	M334	<b>BATHROOM CEILING</b> Make neat cornice conditions – note ceiling condition = make good.	m <sup>2</sup>	10		R -
H.55	M335	<b>BATHROOM CEILING</b> Make neat cornice conditions.	m	10		R -
H.56	M336	<b>BATH TO WALL SEAL</b> Clean out gap between tiling and bathtub. Reseal with polyurethane flexible sealant as per Sikaflex 11FC (white).	m	3		R -
H.57	M337	<b>BATHTUB</b> Make good at bathtub – does not fully drain.	ITEM	1		R -
H.58	M338	<b>SERVICE SLIDING SASH WINDOWS</b> Service complete window systems incl. sliding mechanisms, locking mechanisms, replace seals. NB: • Make good face plate, strike plates, replace missing pop- rivets • Ensure leaves slide readily • Repair damaged finish to match existing	No.  Note	2		R -

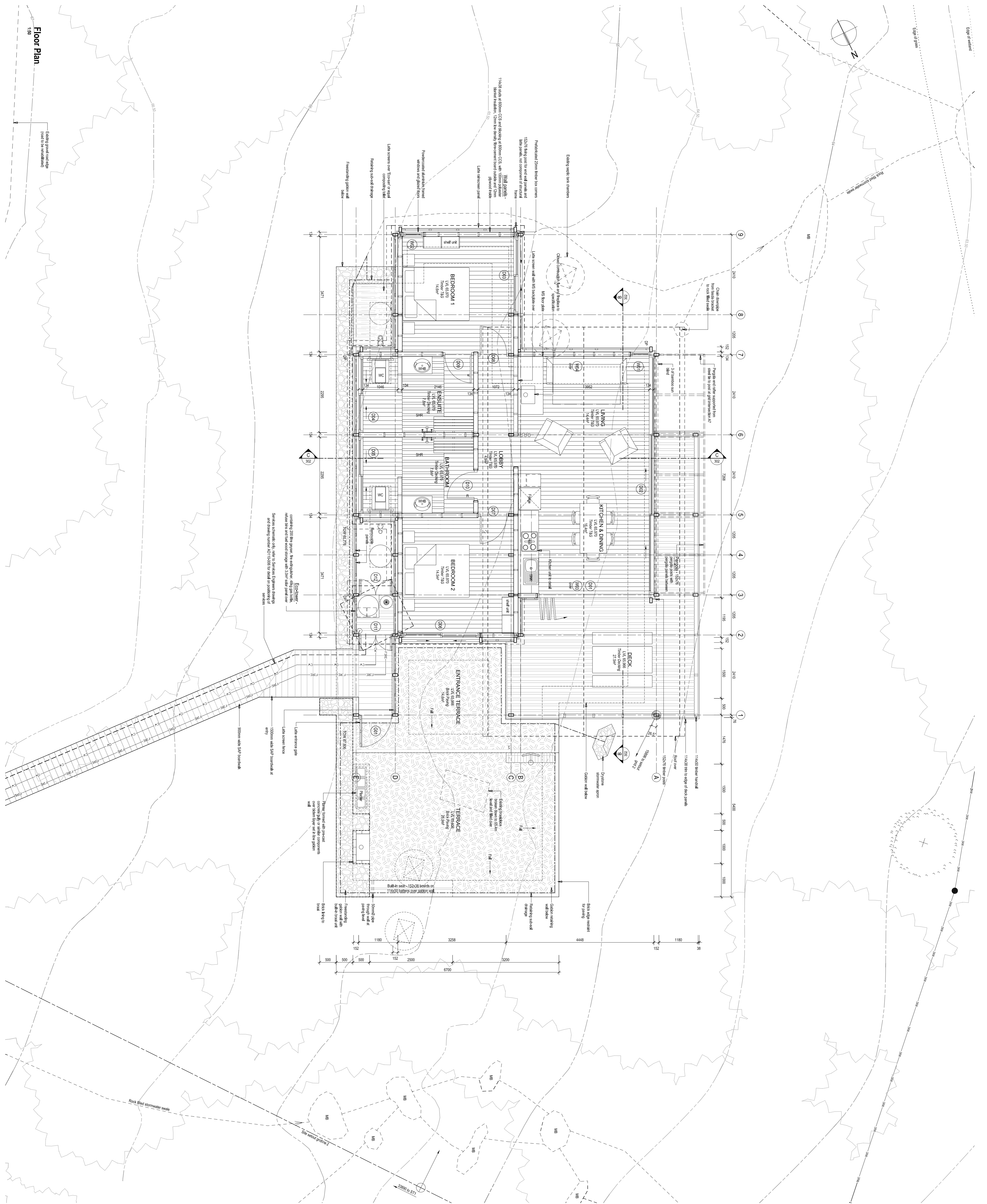
QS Ref	Arch Ref	Description	Unit	Quantity	Rate	Amount
H.59	M339	<b>SERVICE PICTURE WINDOW</b> Service complete window, replace seals. NB: • Repair damaged finish to match existing	No.	1		R -
H.60	M340	<b>LED HOUSING</b> Make good at LED housing. See drawings.	Item	1		R -
H.61	M341	<b>LED DRIVER</b> Replace LED driver housing with one that is discreet.	No.	1		R -
H.62	M342	<b>BATHROOM DOOR</b> Make neat at doors, reinstall striker plate, replace missing screws (stainless steel). Ensure all screws are the same. Make neat threshold plate. Door scraping against floor, make good.	No.	1		R -
H.63	O7	<b>ROOF EDGING</b> Make good rusting at fixings to edging strip, replace nails with stainless steel equivalent. Ensure seal between fixing and edging strip. Finish as per existing.	m	25		R -
J		<b>PARKING STRUCTURE</b>				R -
J.1	A34	<b>DEMOLISH PREFAB STORAGE UNIT</b> Demolish prefab structure, move storage aspects to undercover space within parking structure – see point below. Build a weatherproof facility within to take over storage. Windows can be reused within new volume.  NB: Ensure brick steps are removed Unit detracts from the natural environment. In addition it is one of the first structures one sees as it is located adjacent to the primary entrance of the Oudebosch complex.	Item  Note	1		R -
J.2	A35	<b>CONVERT TO STORAGE UNIT</b> IMPORTANT: Structure to be weatherproofed within, in order to take place of storage unit. See Annexure as diagrammatic example.	Item	1		R -
J.3	M343	<b>REPLACE MISSING/BROKEN LATTE</b> Replace missing latte members. Diameter to match existing as close as possible. Make good all latte 'panels'.	m	20		R -
J.4	M344	<b>EXTERIOR LIGHT SWITCH</b> Ensure switch circuit is in working order. Clean surfaces. Make good adjacent latte.	No.	1		R -
J.5	M345	<b>SENSORS</b> Replace sensors with durable model – specialist to provide options. Quantify on site (for parking structure at least X2)	No.	2		R -
J.6	M346	<b>SENSORS CONTINUED</b> Replace sensors with durable model – specialist to provide options. Quantify on site (for parking structure at least X2)	No.	2		Incl above

QS Ref	Arch Ref	Description	Unit	Quantity	Rate	Amount
J.7	M347	<b>SOFFIT REPAIR</b> Sand down ply soffits, reseal as per finishing schedule SC004. Replace to match existing where water damage is extensive. Make good all external timber beading and seal as per previous. NB: Clean roof surface above from all debris - critical.	m <sup>2</sup> m <sup>2</sup> m Note	10 10 20		R - R - R -
K		<b>WALKWAY AND BOARDWALKS</b>				R -
K.1	M348	<b>REPLACE MISSING/BROKEN LATTE</b> Replace missing latte members. Diameter to match existing as close as possible. Quantify on site (approx. 20+)	m	20		R -
K.2	M349	<b>TIE-STRAPS</b> Make neat tie-straps.	No.	9		R -
K.3	M350	<b>GUMPOLES</b> Replace bowed gumpoles – use same diameter and height.	No.	1		R -
K.4	M351	<b>MAKE GOOD BALUSTRADE</b> Make good timber balustrading.	m	12		R -
K.5	M352	<b>REPLACE TIMBER TREADS</b> Replace all broken timber treads – ensure same timber and dimensioned lumber is used. Finish as per original.	m	50		R -
K.6	M353	<b>BURY EXPOSED SERVICES</b> All exposed and surfaced conduiting, plumbing pipes and other service related wiring to be made compliant with relevant installation regulations. Make good, bury to depth as per regulations. Each cabin and area varies p/instance from ±1m to ±7m+. Quantify on site.	m	3.5		R -
K.7	M354	<b>POOL STEPS &amp; BALUSTRADE</b> Make good and stable steps to pool incl. balustrading.	m	20		R -
K.8	M355	<b>SENSORS</b> Replace sensors with durable model – specialist to provide options. Quantify on site (approx. X8 incl. X1 p/cabin walkway)	No.	14		R -

QS Ref	Arch Ref	Description	Unit	Quantity	Rate	Amount
K.9	M356	<b>FOOTLIGHTS</b> Ensure each light fitting gets serviced, remove the remaining patterned diffusers (of which approx. 16 still have theirs). Replace the fitting within the housing (GU10 type holder), ensure the wiring is up to date and compliant. Ensure the bulbs are as per the following – Lamp Type: LED Colour Temp.: 3000K Type: GU10 Ø: 50mm NB: See that they are rechargeable for use during load shedding Example for look as per below – Ensure that the flat surface of the bulbs are below the level of the light fixture rim. Flat surface selected to reduce the possibility of breakage as has been the case with some of the globe types currently in use. Note diffusers to be removed – examples on a few of the images Verify on site including at cabins (approx. 17 on site, approx. 15 at cabins)	No.	32		R -
L		<b>WATER RESERVOIR YARD AND ASSOCIATED TANKS</b>				R -
L.1	M357	<b>WATER SUPPLY SOURCE (CRITICAL)</b> Ensure water supply no longer comes from spring. Ensure supply from water reservoir(s) is reintroduced and brought back into service. Fix pump required for this to be actioned. Service equipment, pumps, valves, seals, and associated supply piping. Make good leaks (if any). Eng. to advise.	Item	1		R -
L.2	M358	<b>RESERVOIR LEAK (CRITICAL)</b> Make good leak originating from reservoir. Service valves, seals, and associated supply piping. Eng. to advise.	Item	1		Incl above
L.3	M359	<b>RESERVOIR TANK (IMPORTANT)</b> Make good efflorescence and any cracking. Refinish as per specialist. Eng. to advise.	Item	1		Incl above
L.4	M360	<b>GENERATOR STORE</b> Roof sheeting incorrectly installed – orientation of ribs to be towards the fall. NB: Check generator installation is as per regulations and fire safety standards.	m <sup>2</sup>	3		R -
			Item	1		R -
L.5	M361	<b>REPLACE MISSING LATTE OF SCREEN</b> Replace splitting and missing latte members. Diameter to match existing as close as possible. Make good all latte 'panels' and loose members. Quantify on site	m	10		R -
L.6	M362	<b>REPAIR LATTE SCREEN</b> Make good all instances requiring corrective work. Quantify on site	m	20		R -

QS Ref	Arch Ref	Description	Unit	Quantity	Rate	Amount
L.7	M363	<b>SERVICE EQUIPMENT</b> As per M357 - Service equipment, pumps, valves, seals, and associated supply piping. Make good leaks (if any).	Item	1		R -
L.8	A364	<b>SERVICE EQUIPMENT CONTINUED</b> Make good, neat.	Item	1		R -
M		<b>Provisional Sums</b>				R 100 000.00
M.1	1	<b>Electrical Installations</b> Provide the sum of R50,000.00 (Fifty Thousand Rand) for Electrical Installations	Item	1		R 50 000.00
		Profit	%IT			
		Attendance	%IT			
M.2	2	<b>Wet Services Installations</b> Provide the sum of R30,000.00 (Thirty Thousand Rand) for Wet Services Installations	Item	1		R 30 000.00
		Profit	%IT			
		Attendance	%IT			
M.3	3	<b>Fire Protection Installations</b> Provide the sum of R20,000.00 (Twenty Thousand Rand) for Wet Services Installations	Item	1		R 20 000.00
		Profit	%IT			
		Attendance	%IT			
N		<b>Bill Summary</b>				R 100 000.00
		Preliminaries				R -
		General				R -
		Cabin 5: Marsh Rose				R -
		Cabin 4: Fire Lily				R -
		Cabin 3: Erica				R -
		Cabin 2: Everlasting Daisy				R -
		Cabin 1: Iris				R -
		Cabin 6: Palmiet Honemooon Studio				R -
		Parking Structure				R -
		Walkway and Boardwalks				R -
		Water Reservoir Yard and Associated Tanks				R -
		Provisional Sums				R 100 000.00

QS Ref	Arch Ref	Description	Unit	Quantity	Rate	Amount
Sub-Total						R 100 000.00
		<b>Contingencies (20%)</b>				
		Provide for contingencies to be used as directed by the Principal Agent and deducted in whole or in part if not required	%IT			
Sub-Total						
		Vat (15%)	%IT			
<b>GRAND TOTAL (Carried to Contract Data)</b>						



drawing title

**Cabin 1  
Floor Plan**

**Oudebosch Mountain Cabins  
Kogelberg Nature Reserve**

project

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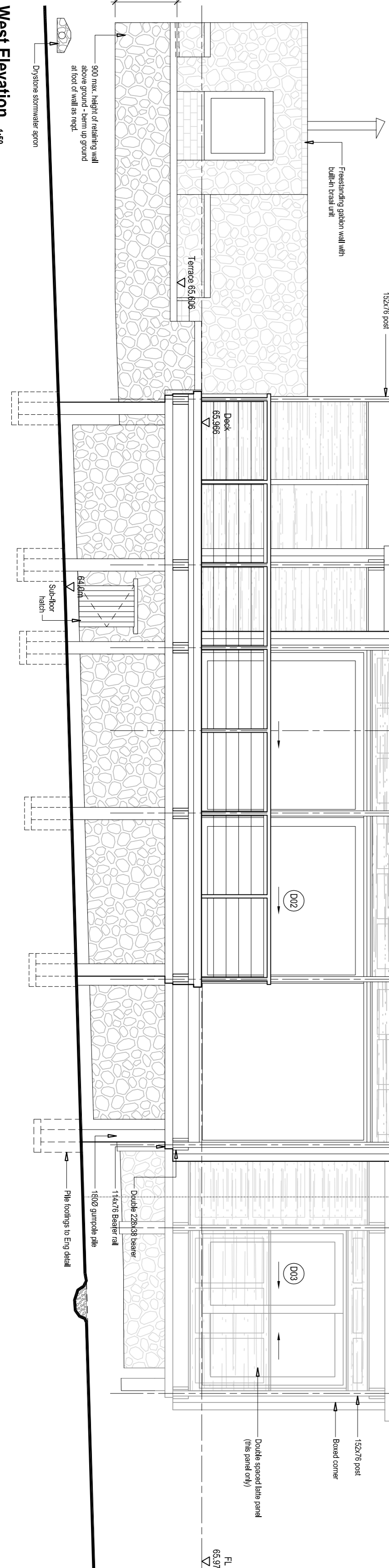
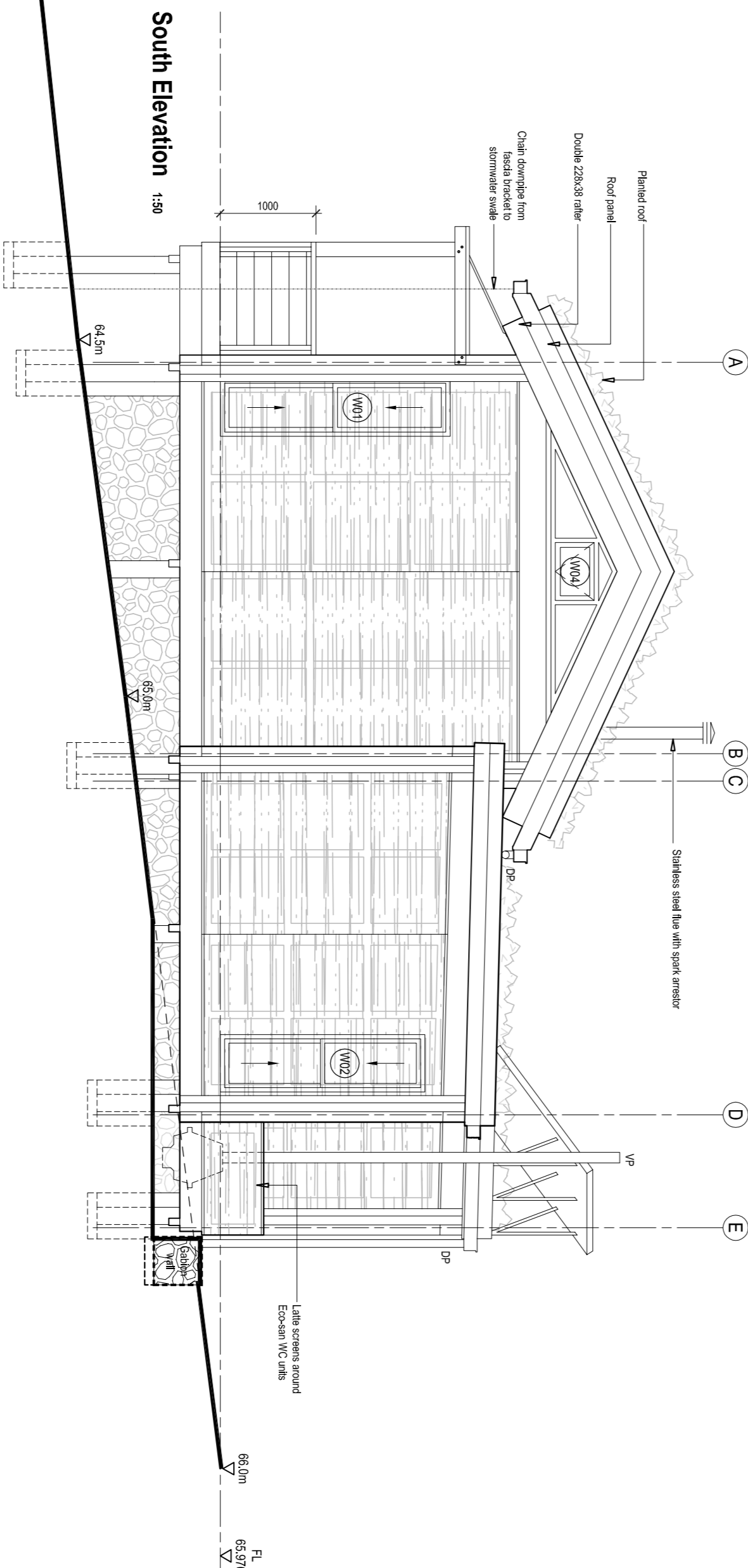
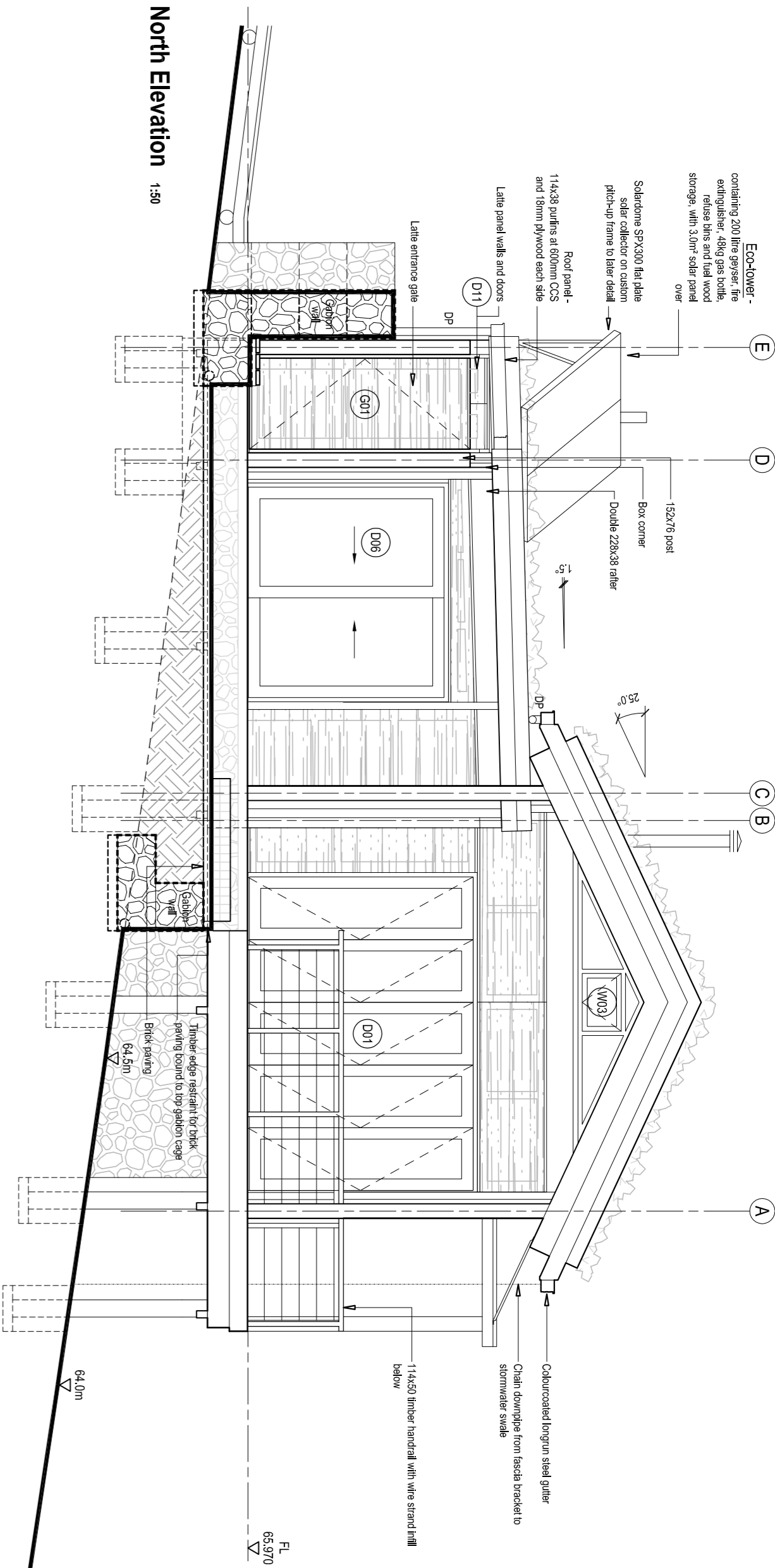
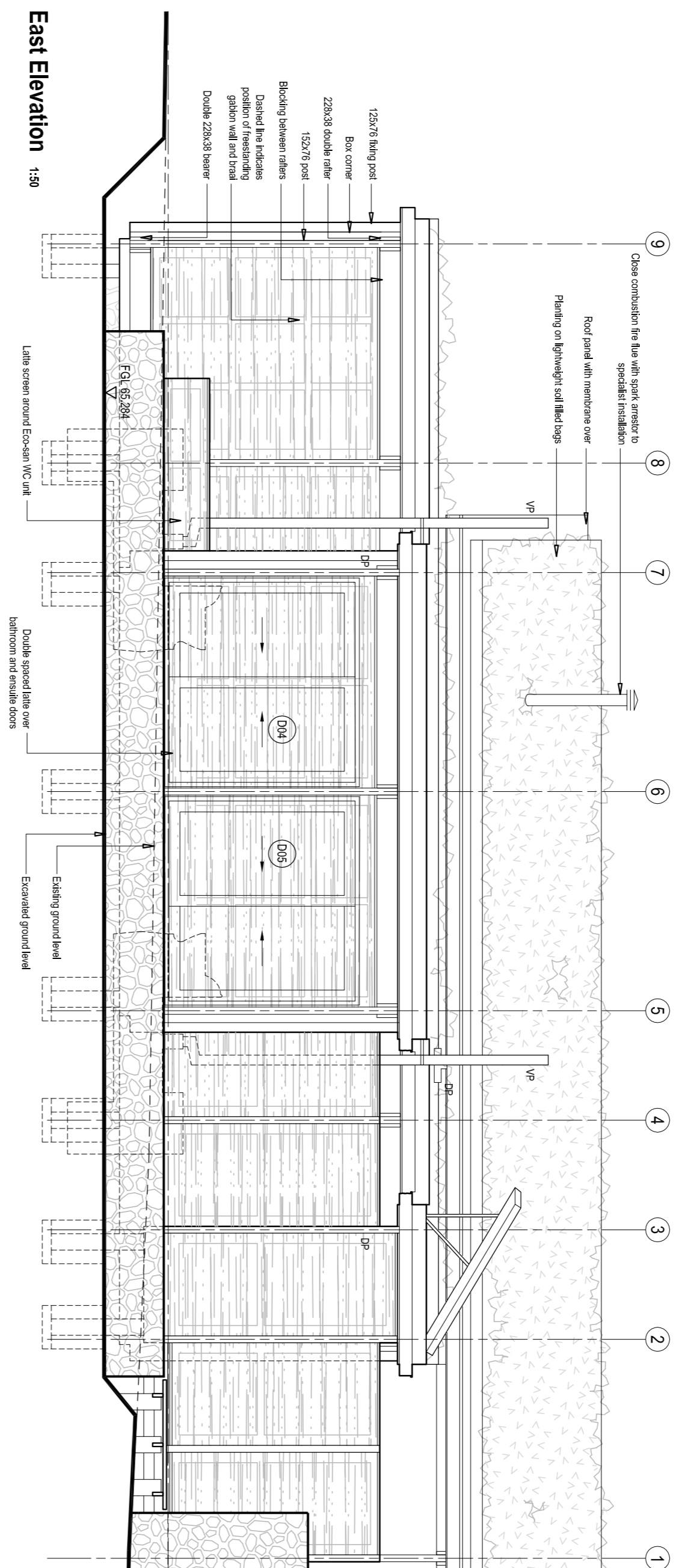
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scale	revision	date	description
<b>1:50 at A1</b>	first issue	13/01/2010	for information
issue date	A	27/09/2010	as per revisions list
<b>08 10 2010</b>	B	08/10/2010	as per revisions list
drawing number			
<b>AB110 - 300</b>			

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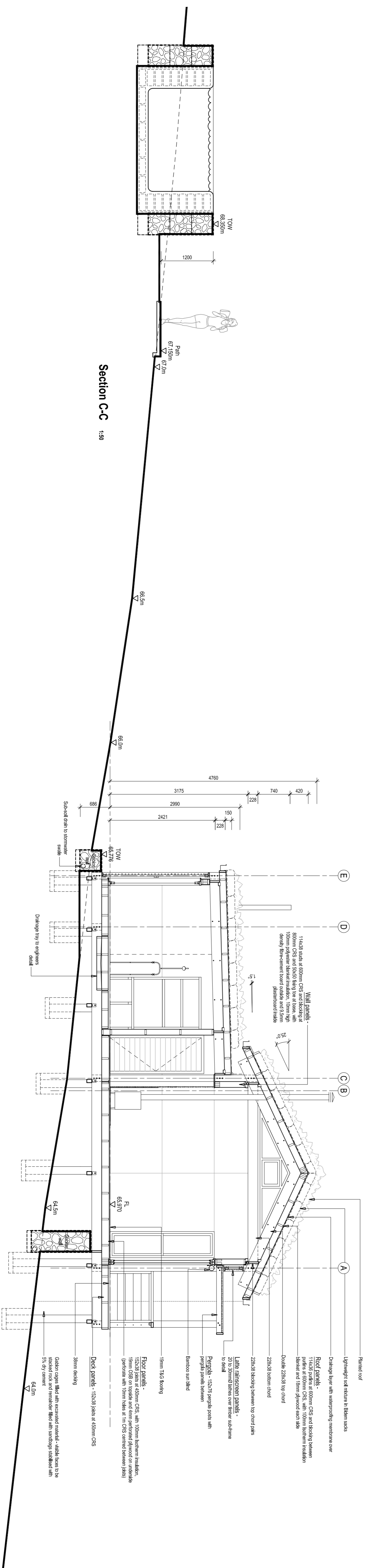
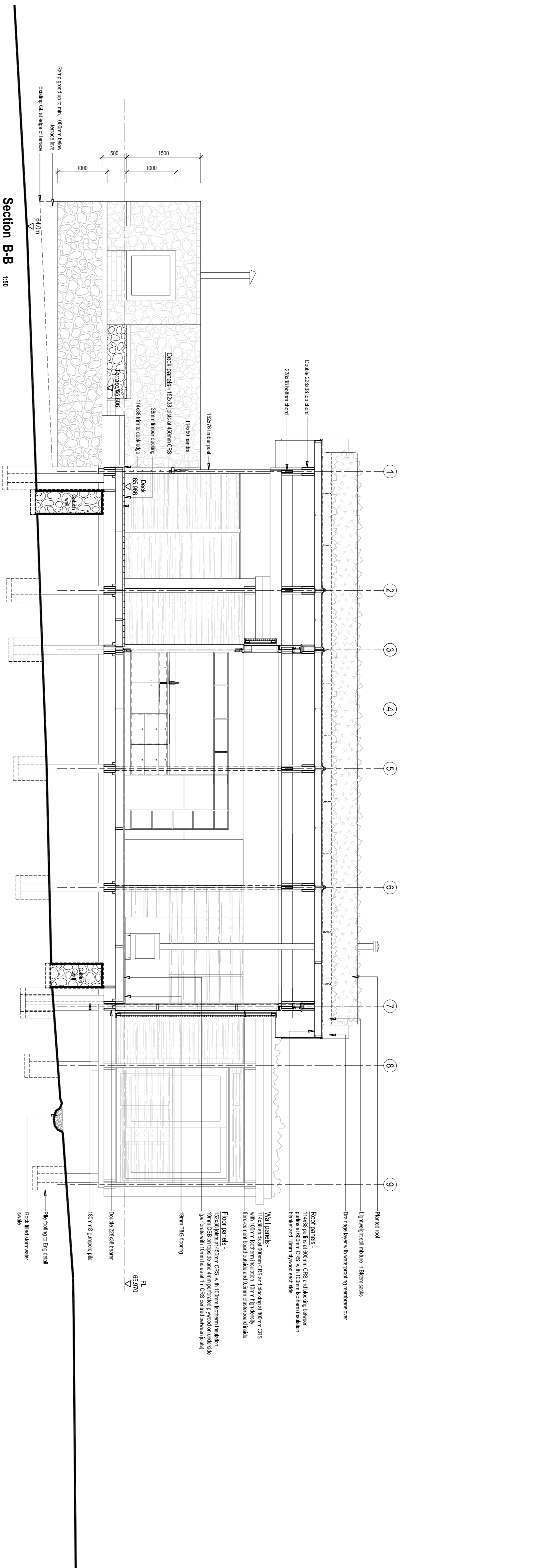
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project  
**Oudebosch Mountain Cabins**  
**Kogelberg Nature Reserve**

drawing title  
**Cabin 1 Elevations**

scale	revision	date	description
<b>1:50 at A1</b>	1st issue	13/01/2010	for information
issue date <b>08 10 2010</b>	A	27/09/2010	as per revisions list
drawing number <b>AD110 - 301</b>	B	08/10/2010	as per revisions list

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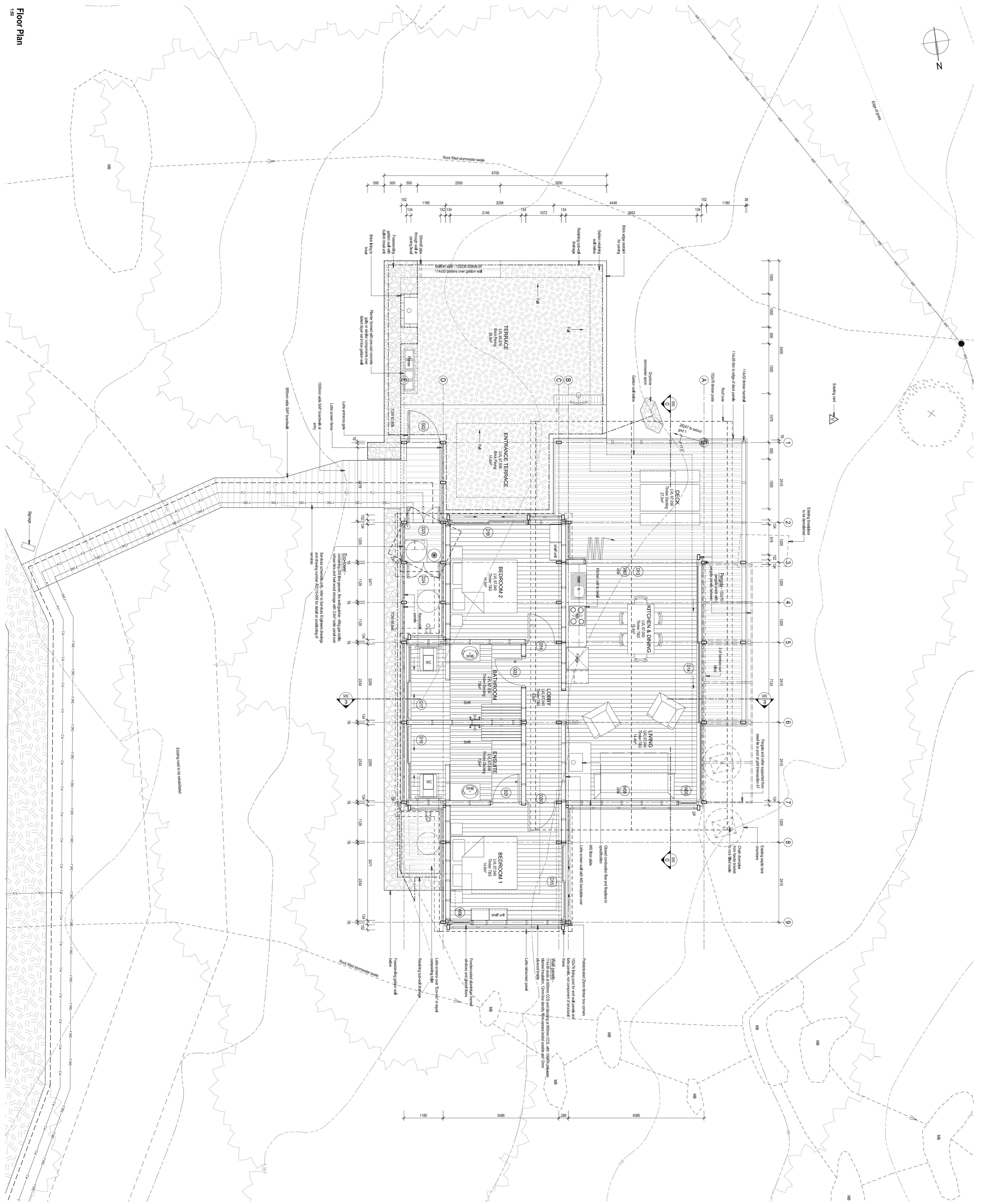
drawing title

**Cabin 1  
Sections**

scale	revision	description
<b>1.50 at A1</b>	final issue	for information
	A	27/09/2010 as per revisions list
issue date	B	08/10/2010 as per revisions list
<b>08 10 2010</b>		
drawing number		
<b>AD110 - 302</b>		

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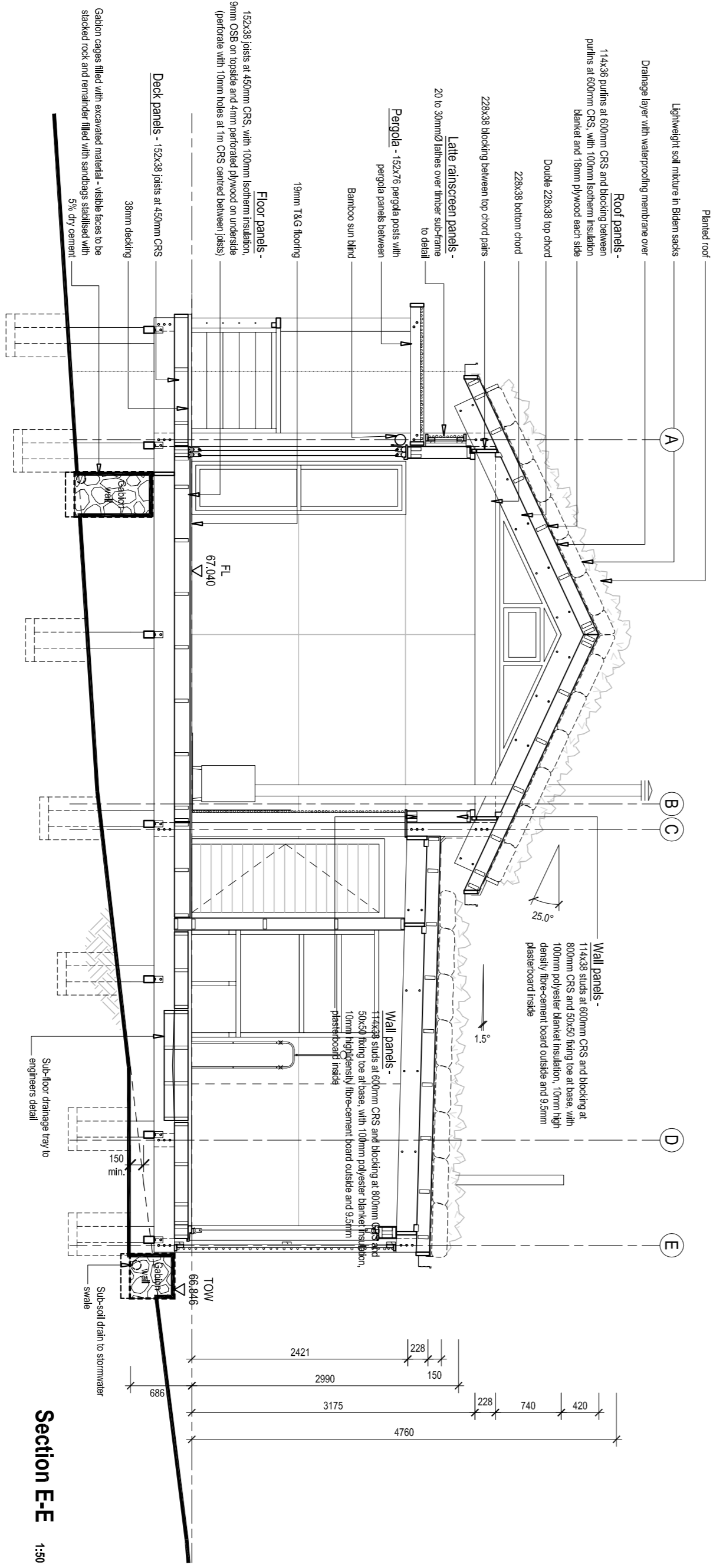
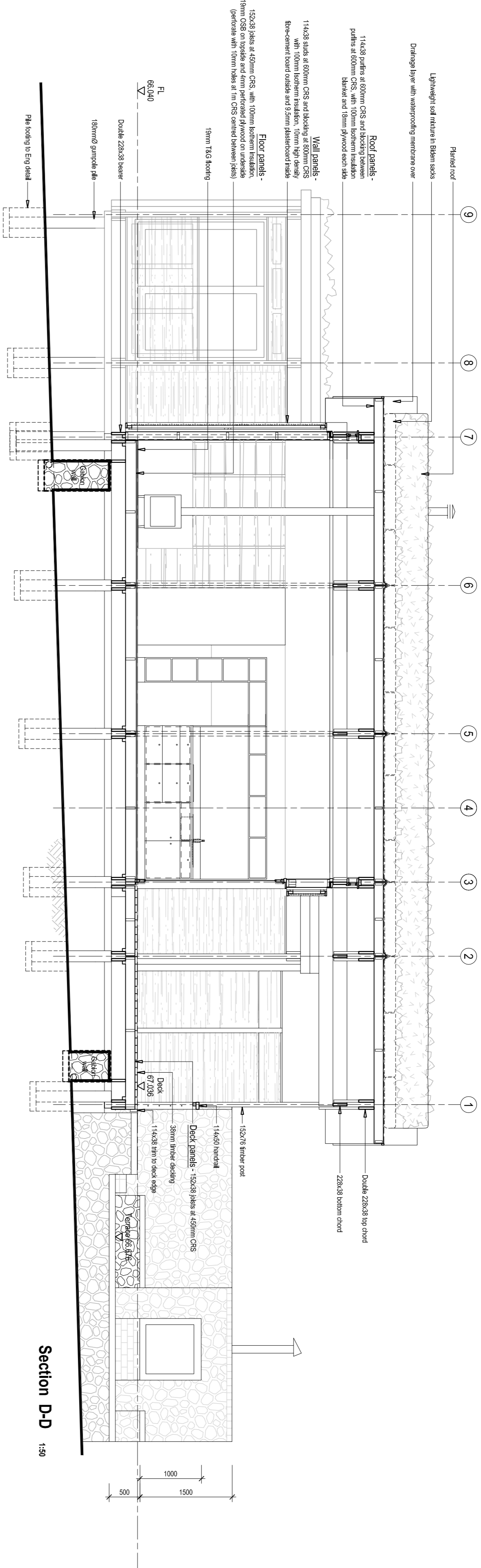
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**Cabin 2  
Floor Plan**

scale	revision	date	description
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	A	22/02/2010	as per revisions list
issue date	B	08/07/2010	as per revisions list
<b>08 10 2010</b>			
drawing number			
<b>AD10 - 303</b>			

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drawing title

## Cabin 2 Sections

scale	revision			date	description
	1:50	at	A1		
issue date	first issue			13/01/2010	for information
	A				
drawing number	as per revisions list			27/09/2010	as per revisions list
	B				
AD110 - 305				08/10/2010	

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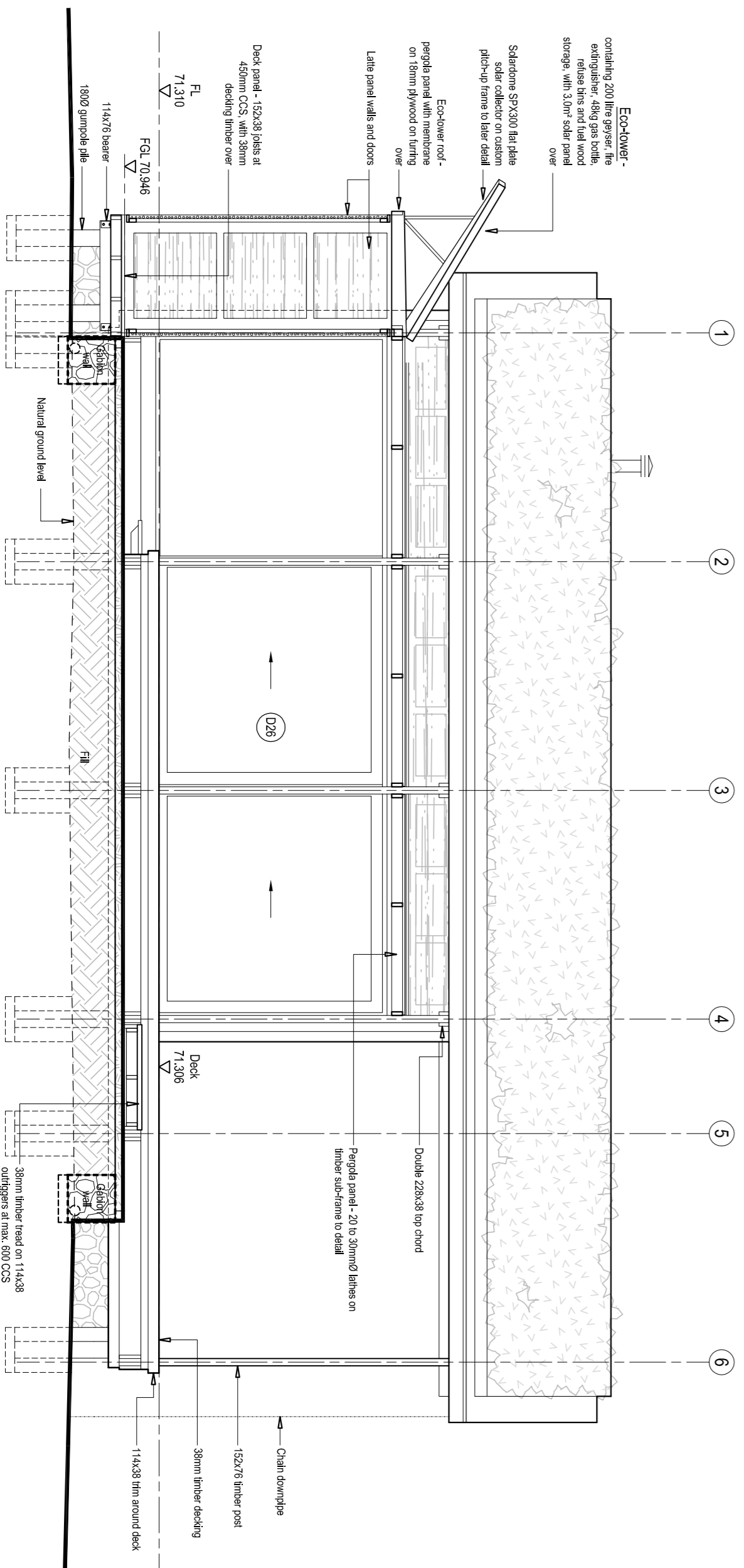
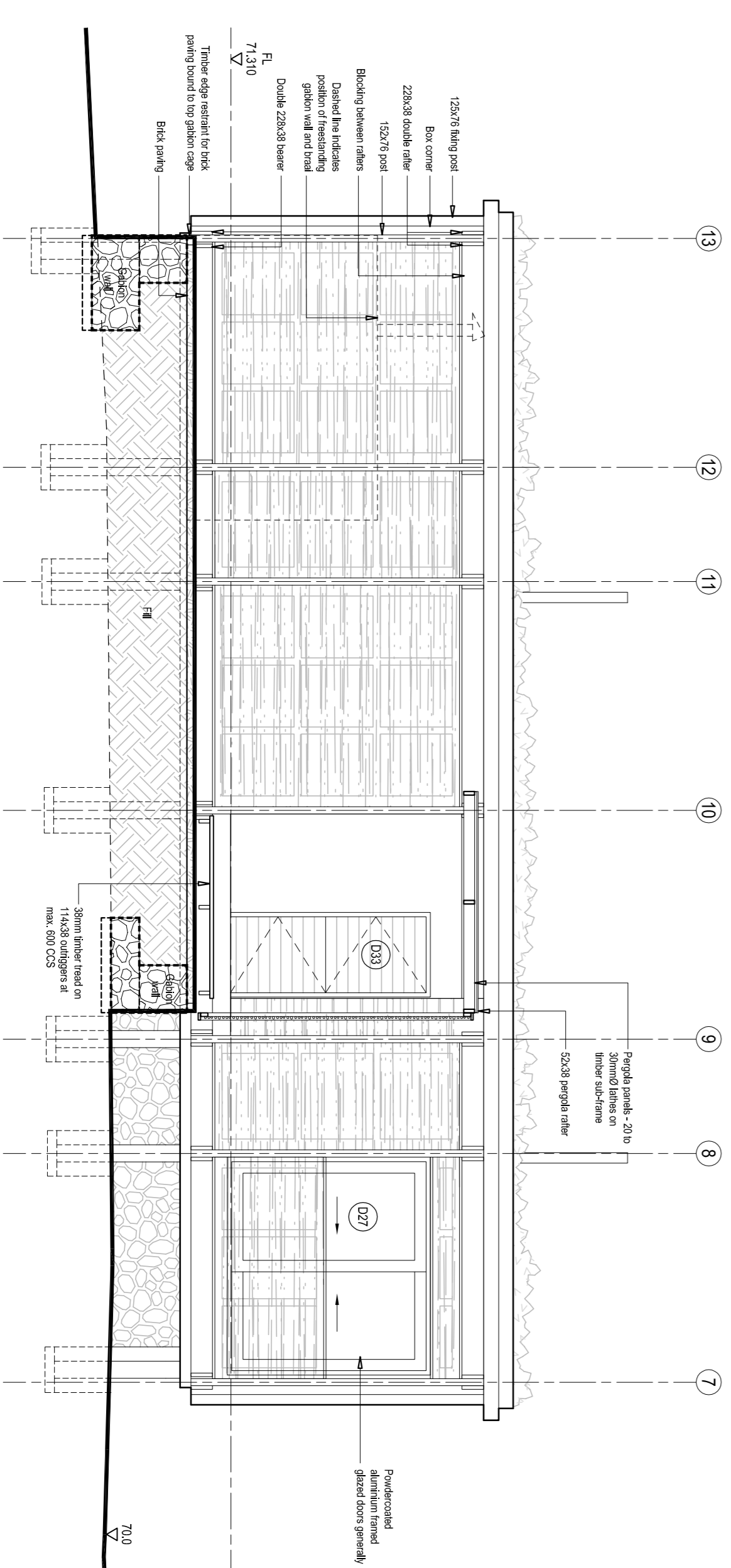
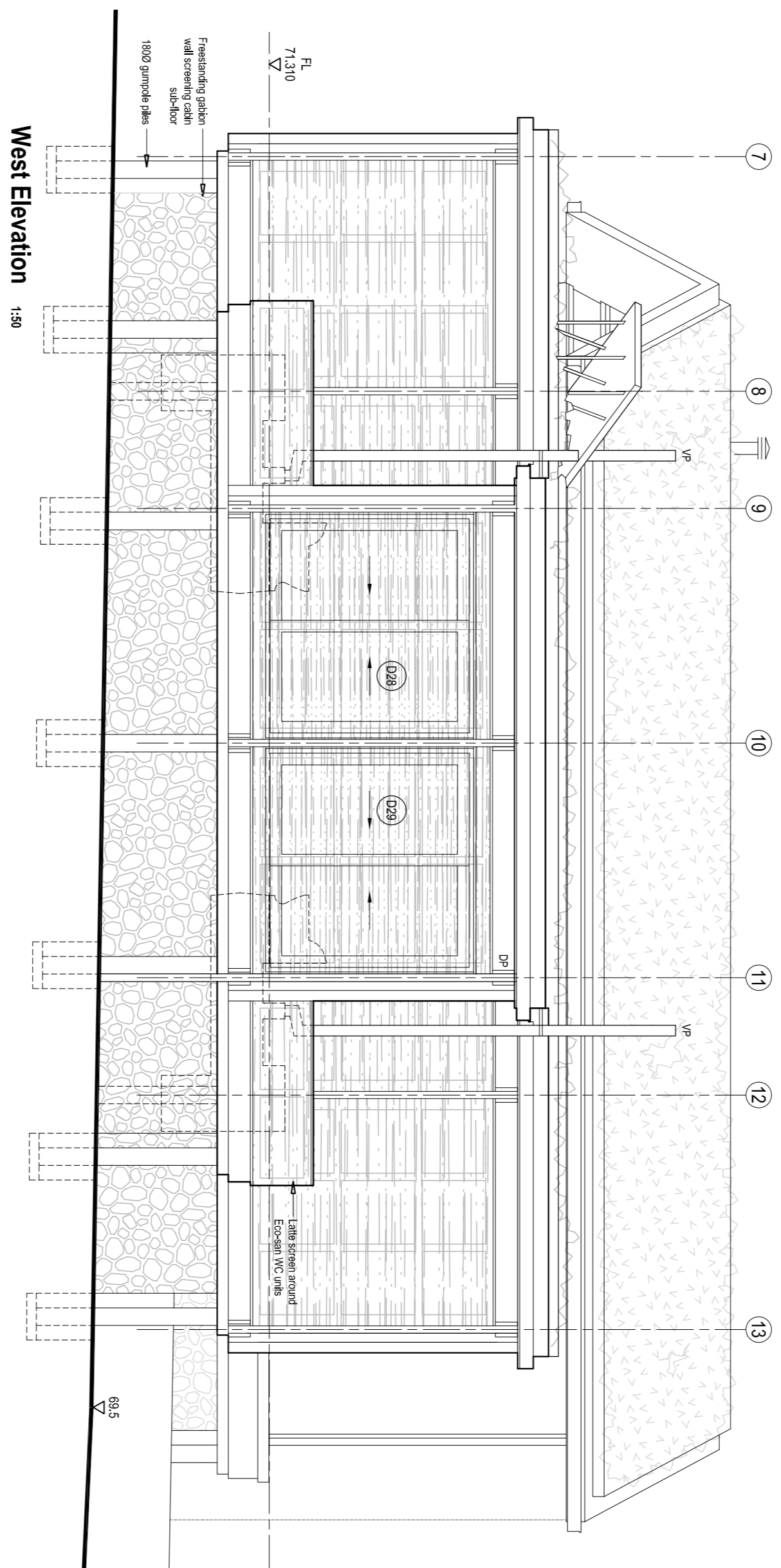
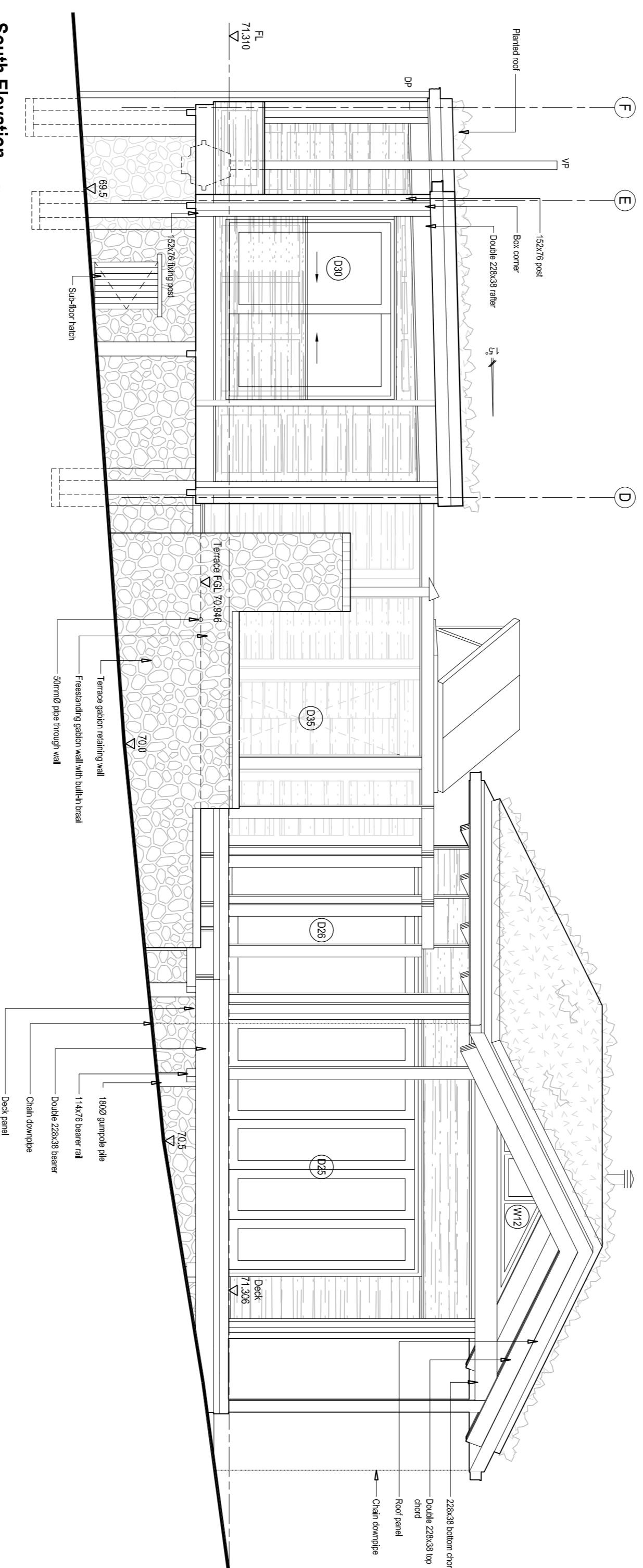
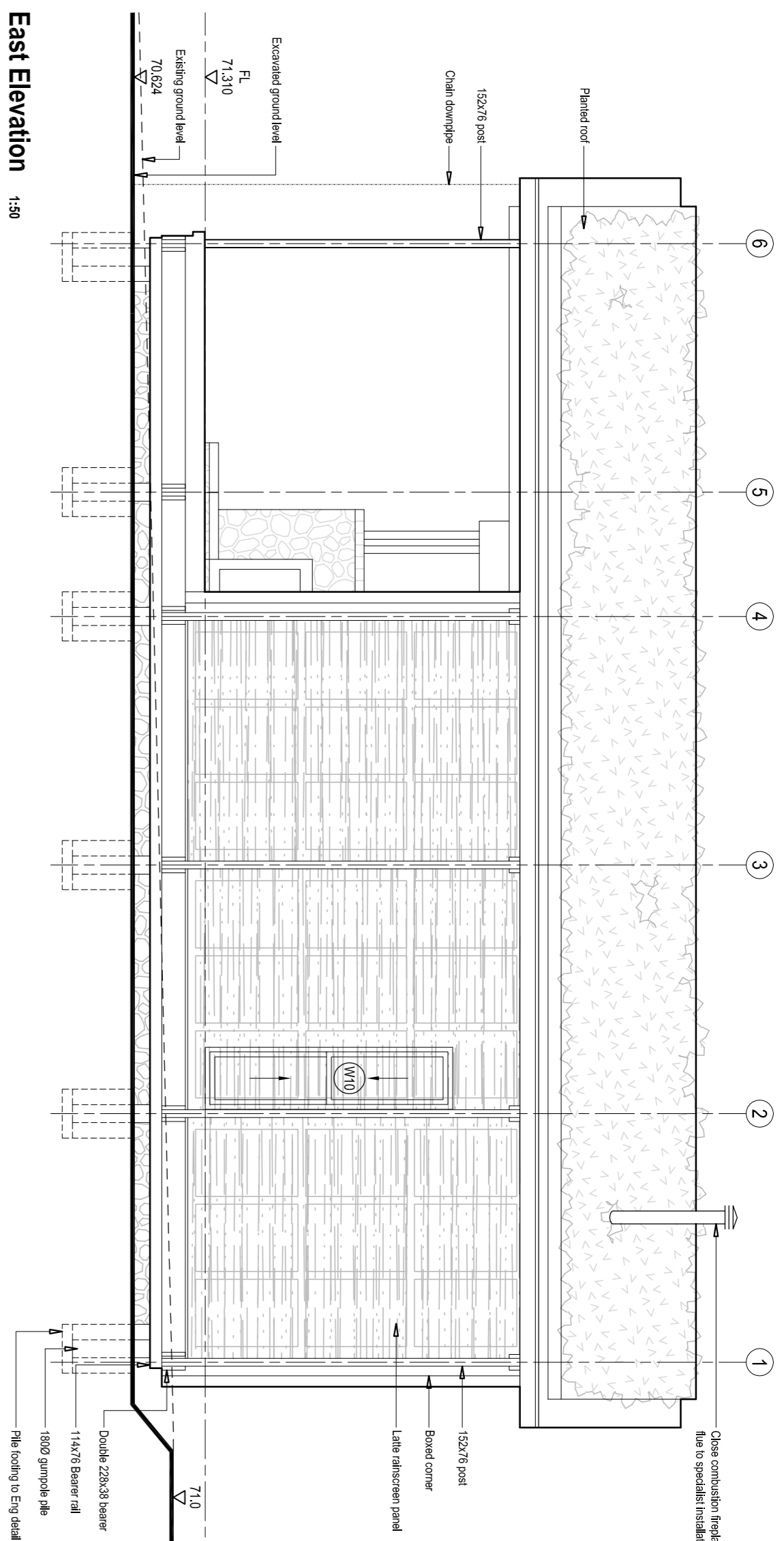
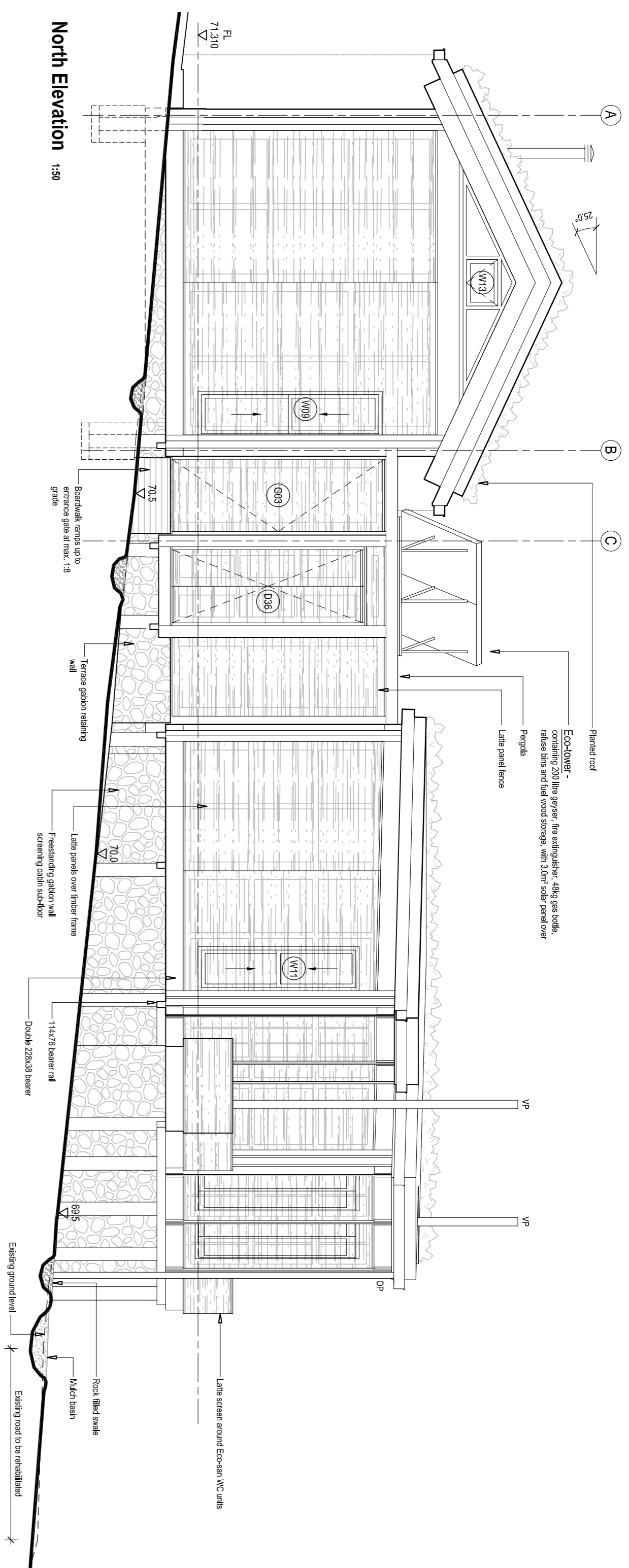
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### Cabin 3 Elevations

scale	revision	date	description
1:50 at A1	final issue	13/01/2010	for information
	A	27/02/2010	as per revisions list
	B	08/10/2010	as per revisions list
issue date			
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AD110 - 307			

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AD110 - 308

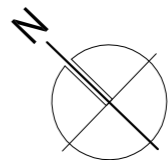
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**Oudebosch Mountain Cabins  
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### Cabin 3 Sections



Existing services to be capped as necessary and removed

Existing septic tank d

Services schematic only, refer to Services Engineers drawings and drawing number AD110-006 for detail on positioning of services

## Floor Plan

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**Oudebosch Mountain cabins  
Kogelberg Nature Reserve**

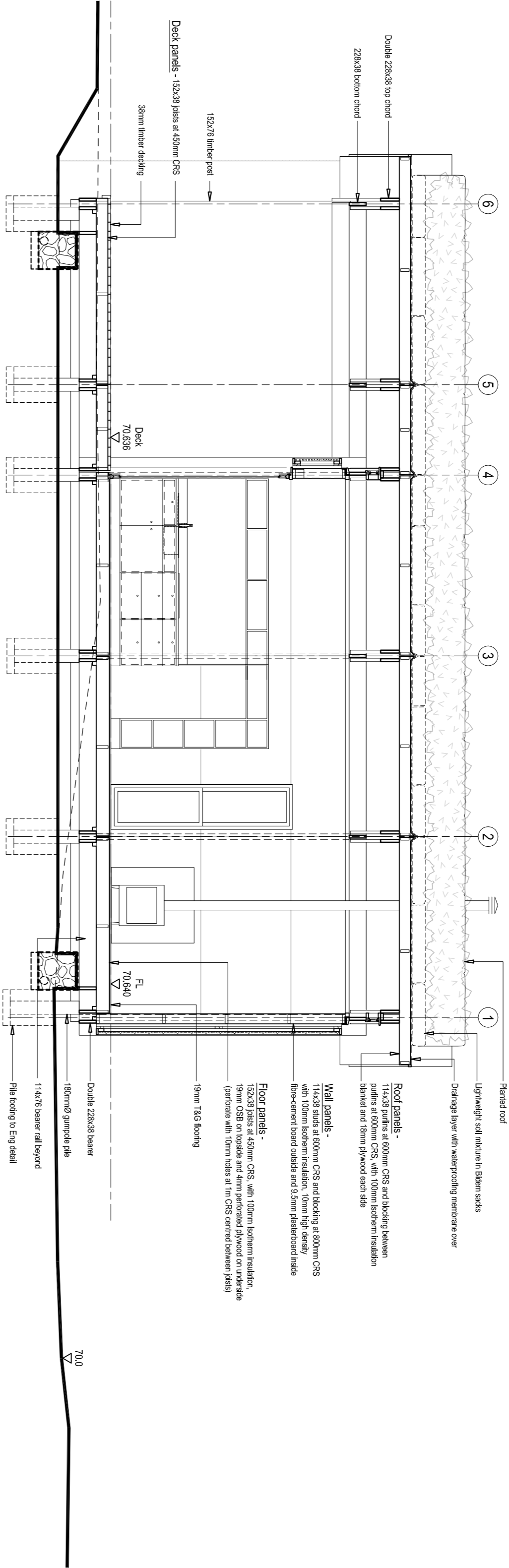
drawing title

### Cabin 4 Floor Plan

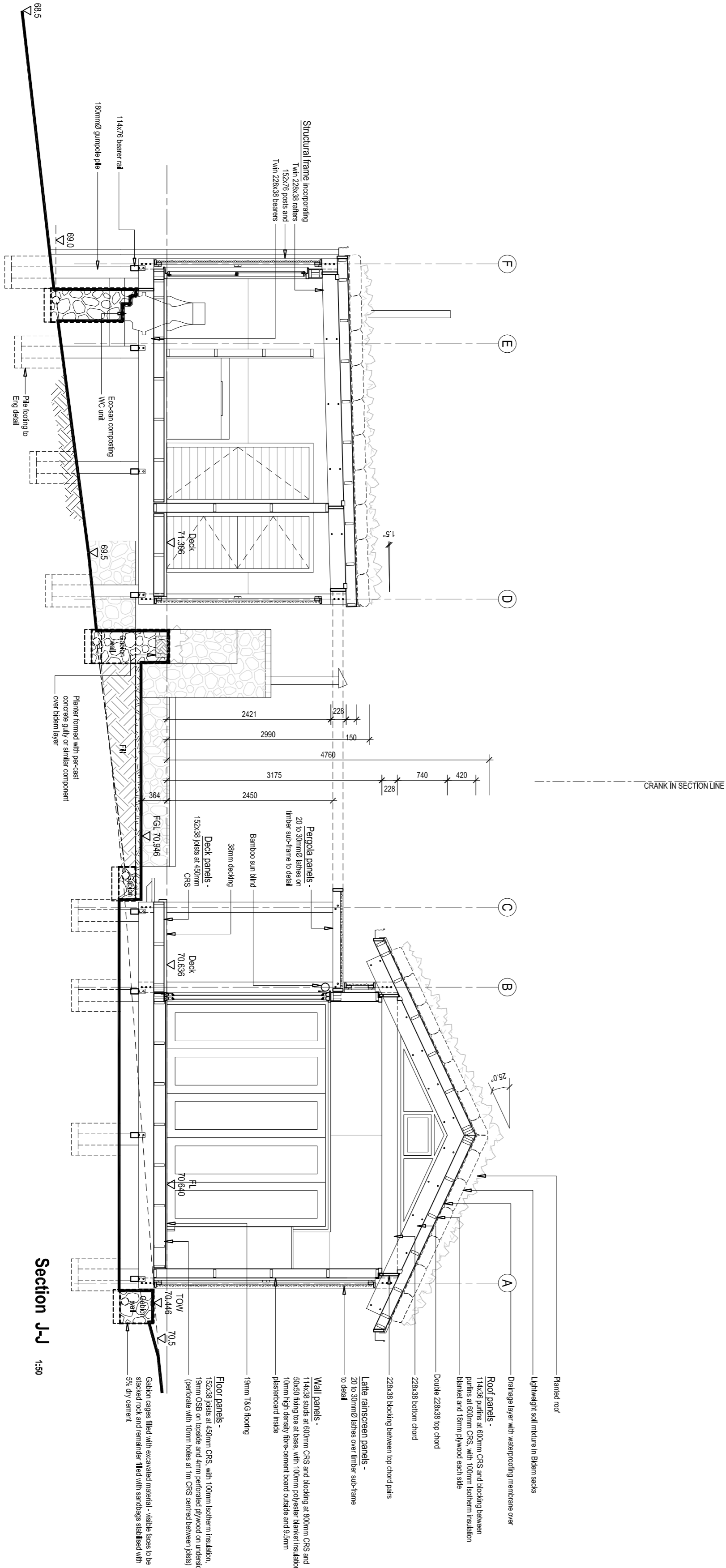
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<b>08 10 2010</b>	B	08/02/2010	as per revisions list

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Section H-H 1:50



Section J-J 1:50



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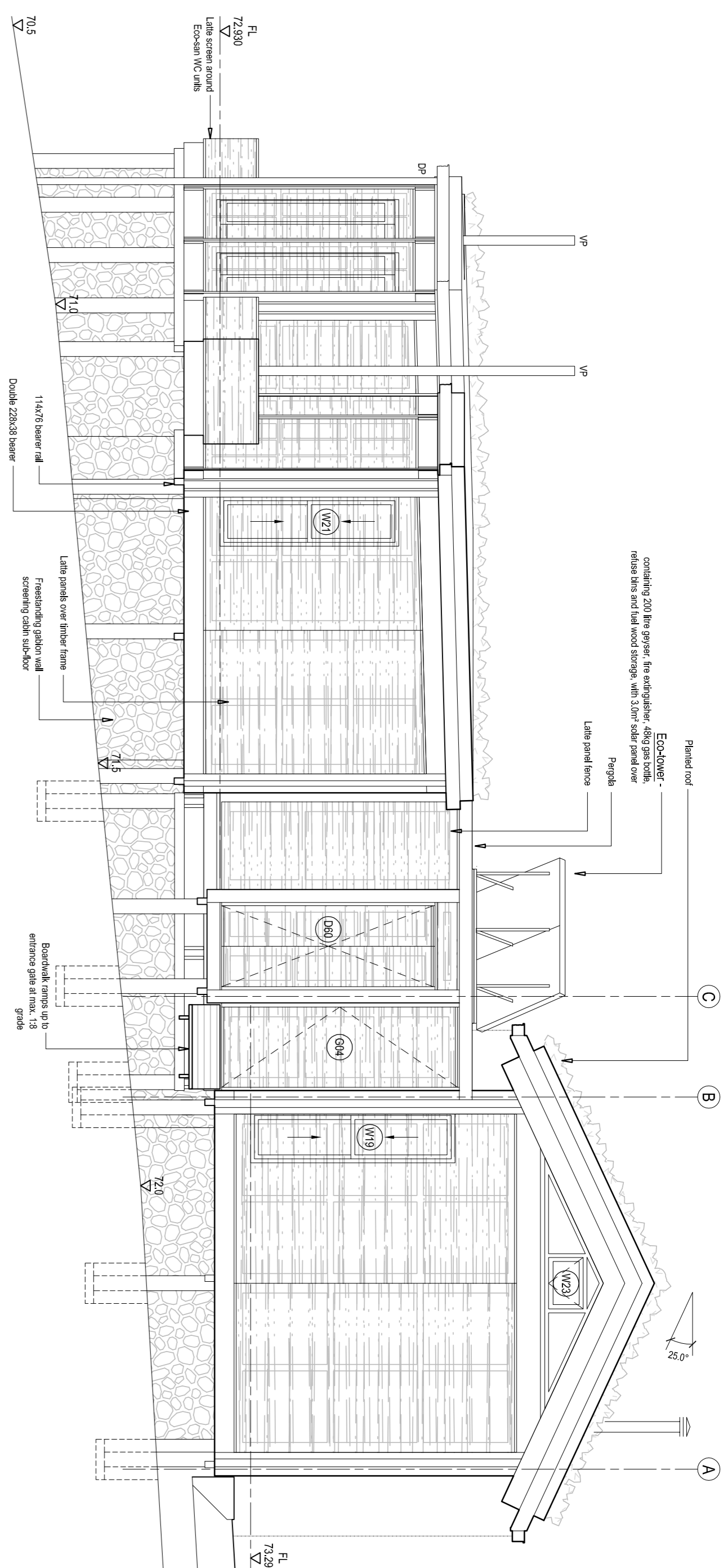
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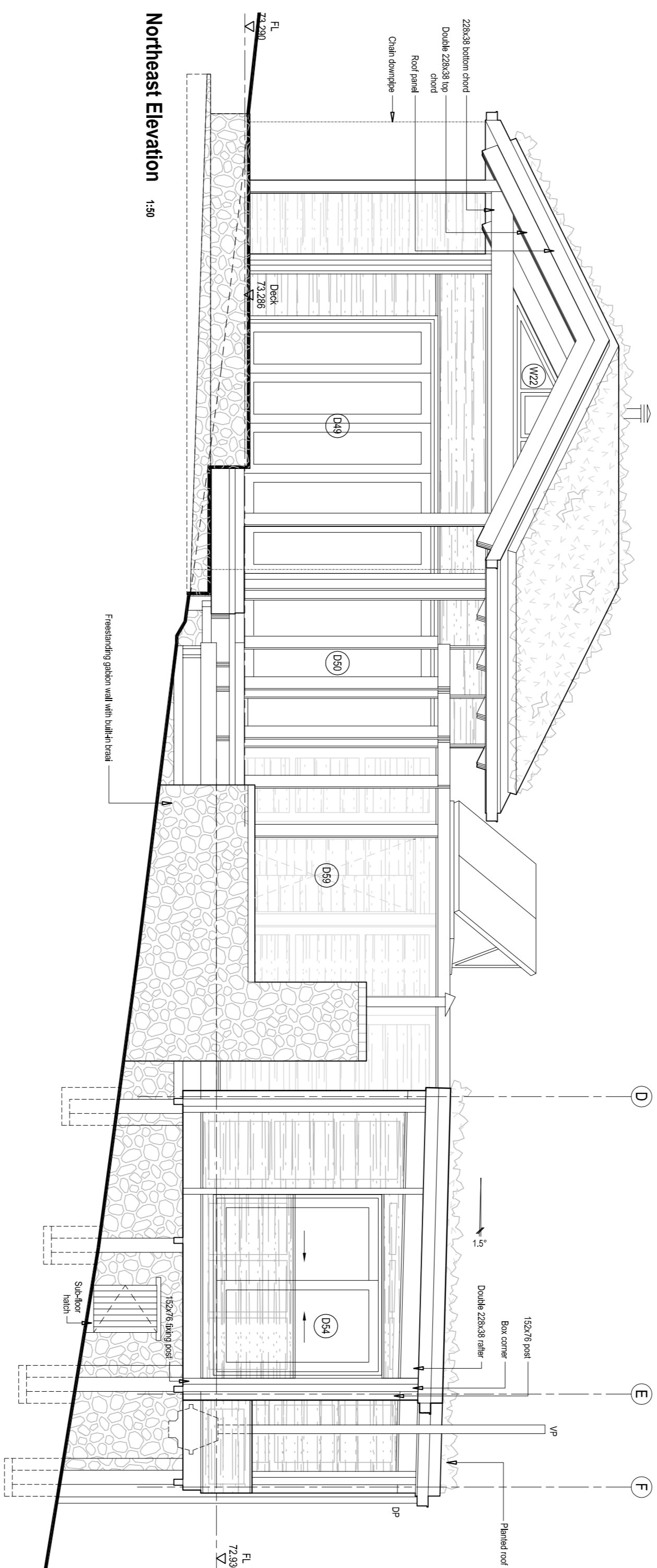
### Cabin 5 Floor Plan

scale	revision	date	description
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	B	08/10/2010	as per revisions list
issue date			
<b>08 10 2010</b>			
drawing number			
<b>AD10 - 312</b>			

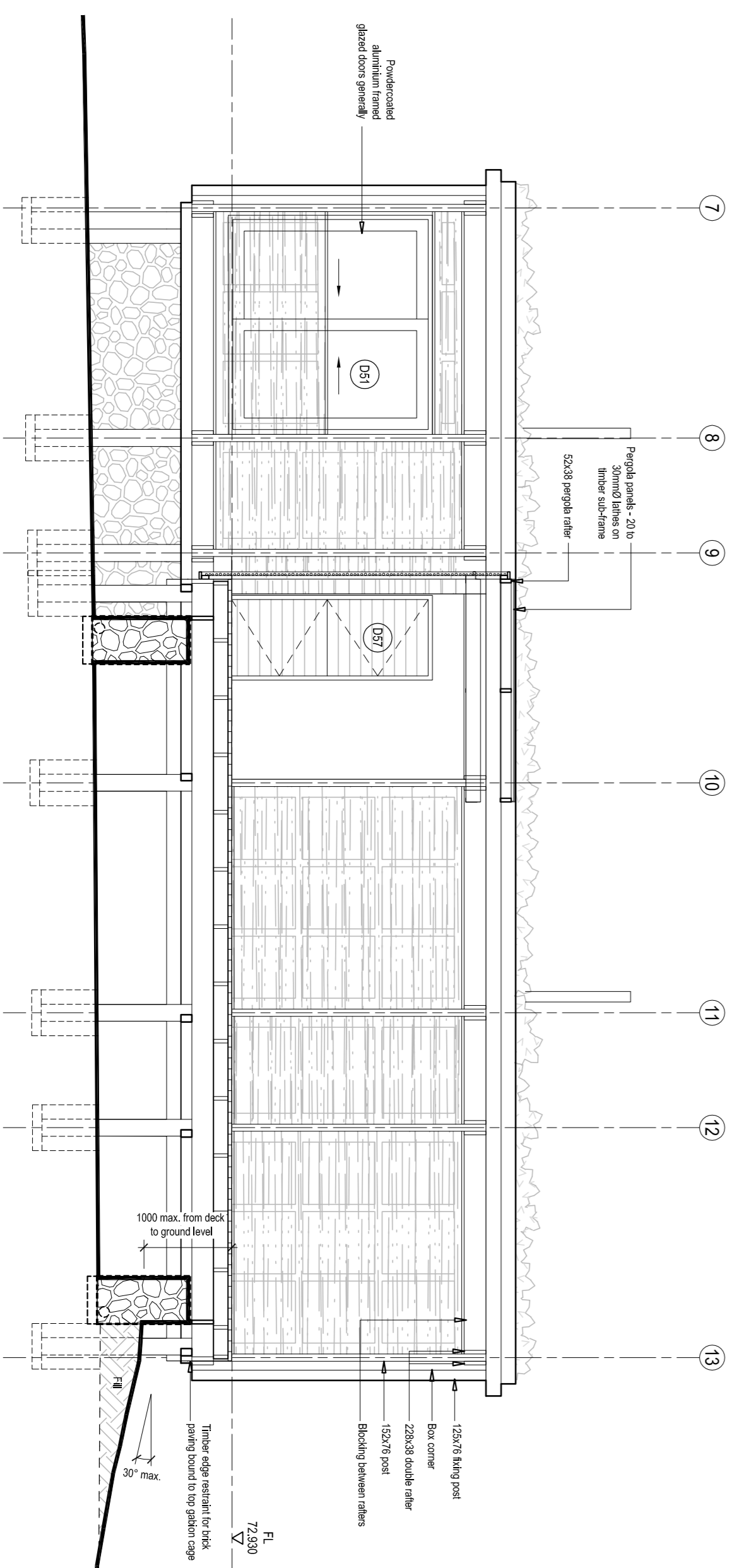
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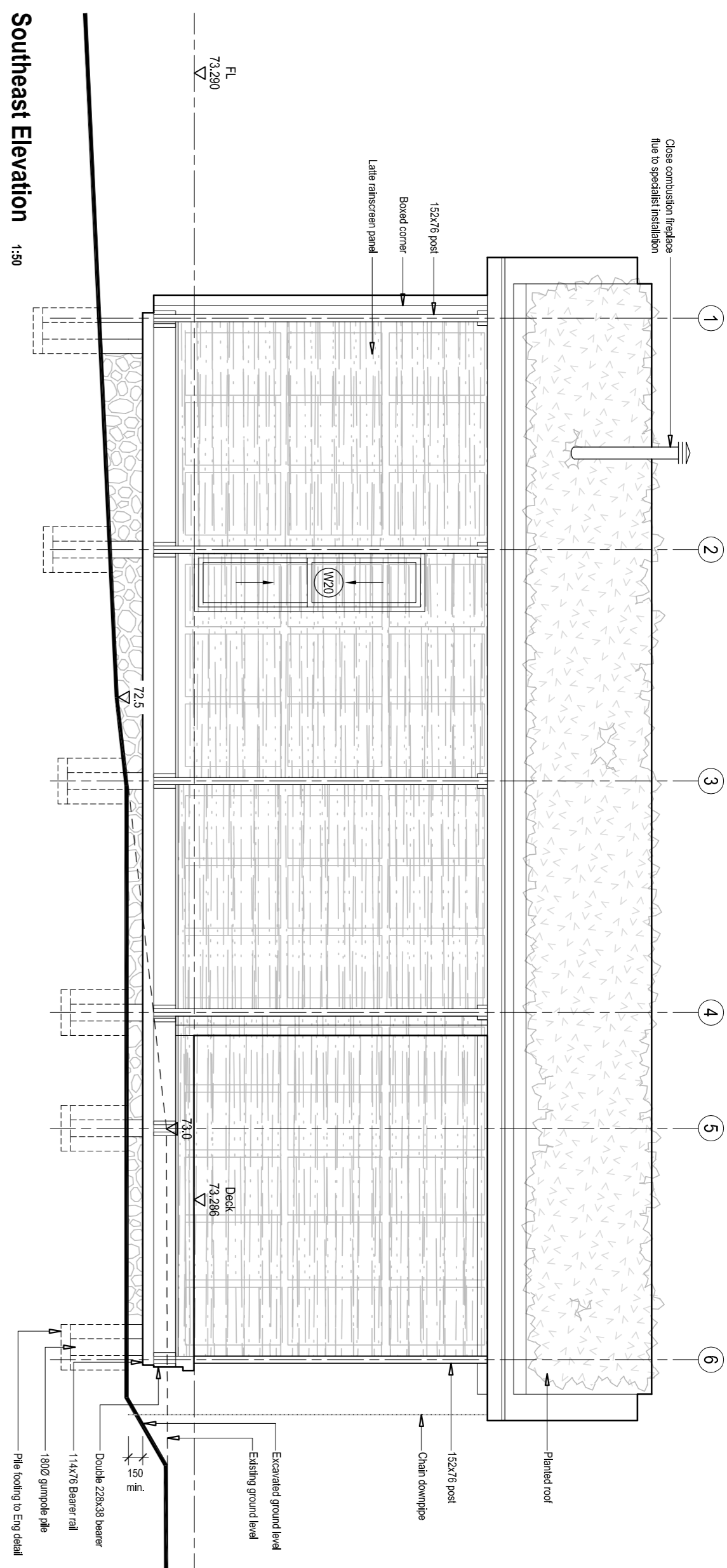
Southwest Elevation 1:50



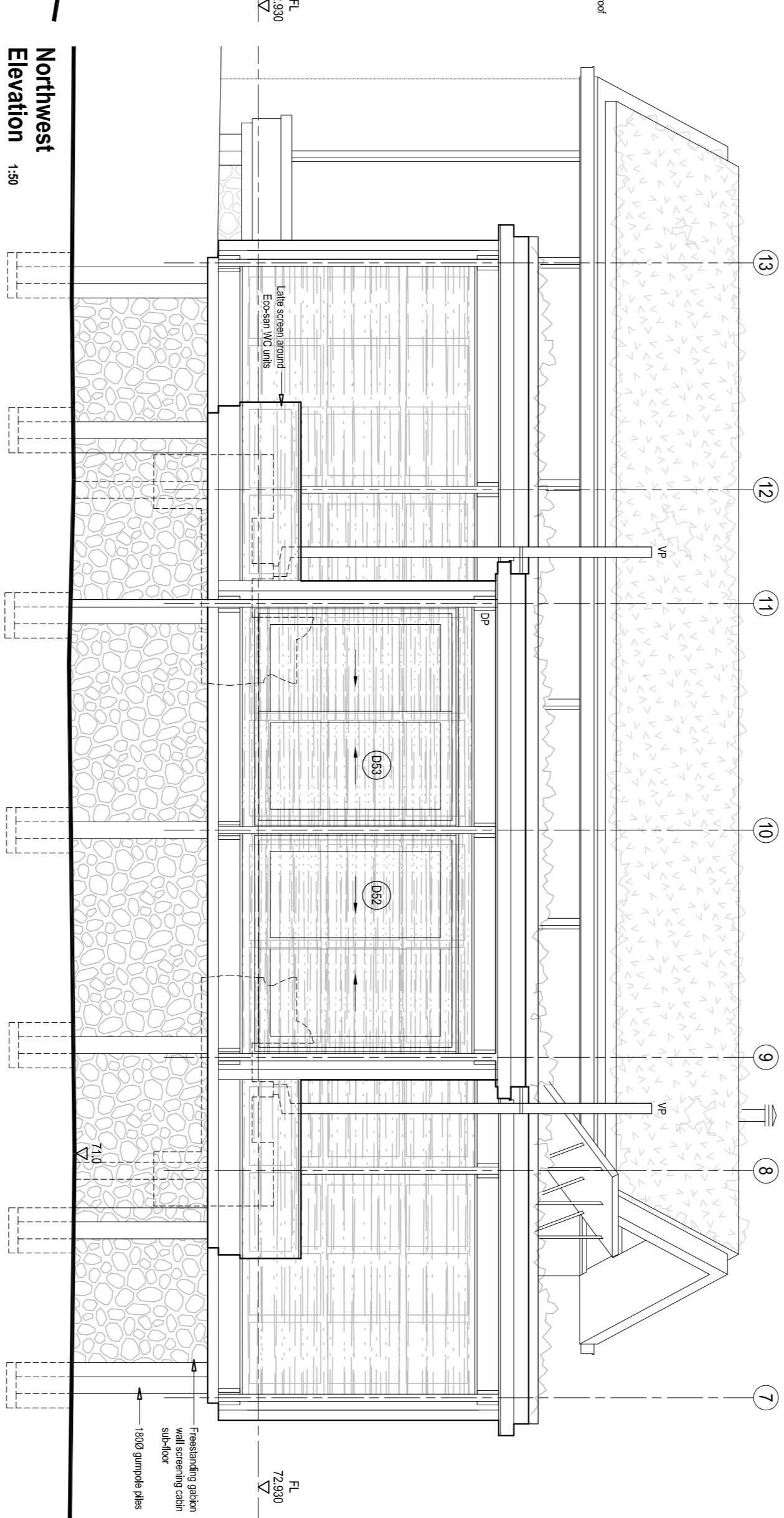
**Northeast Elevation** 1:5



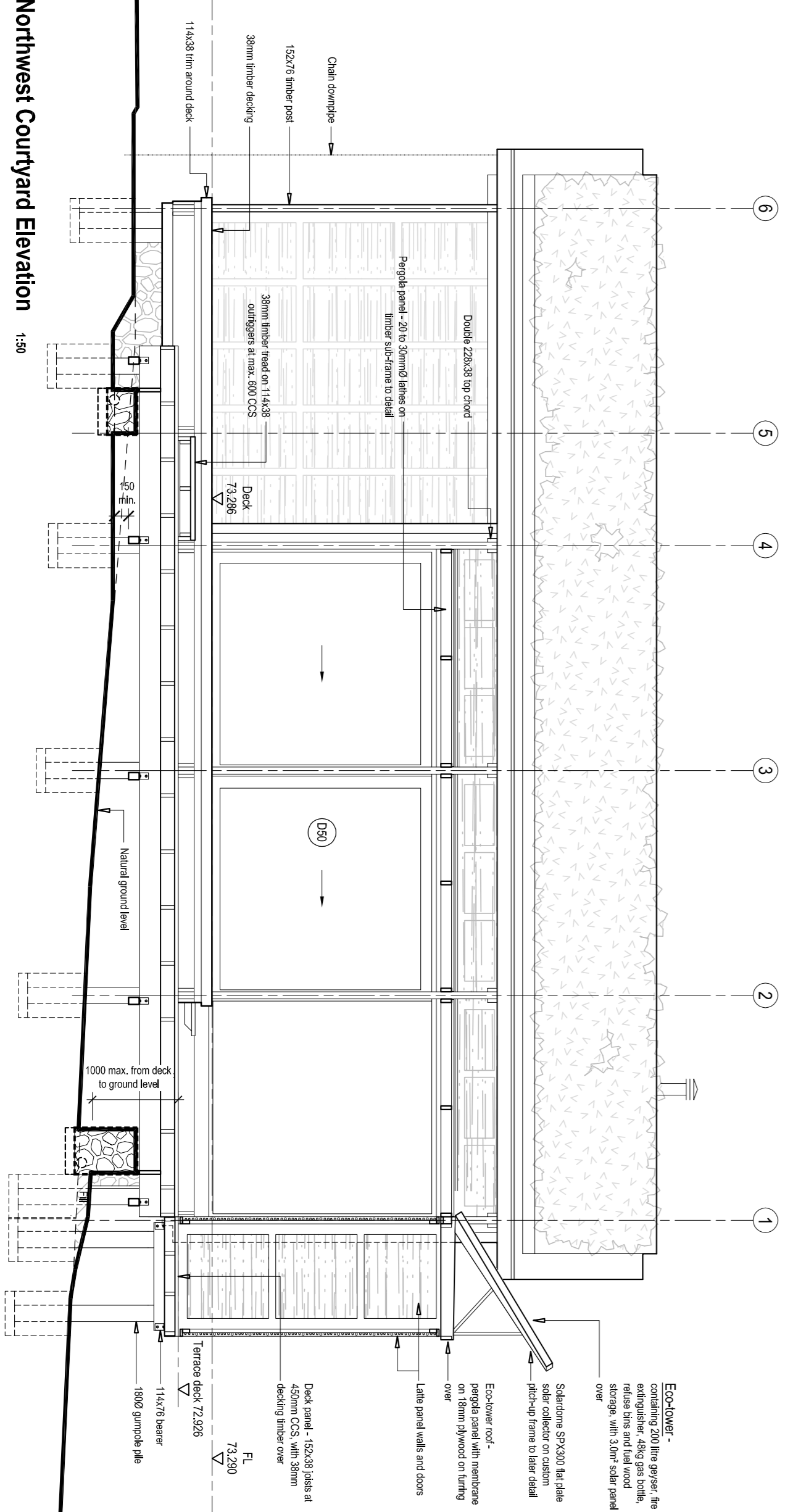
### Southwest Courtyard Elevation



**1.50**  
**South East Elevation**



**Northwest**  
**Elevation** 1:50



Northwest Courtyard Elevation 1:50

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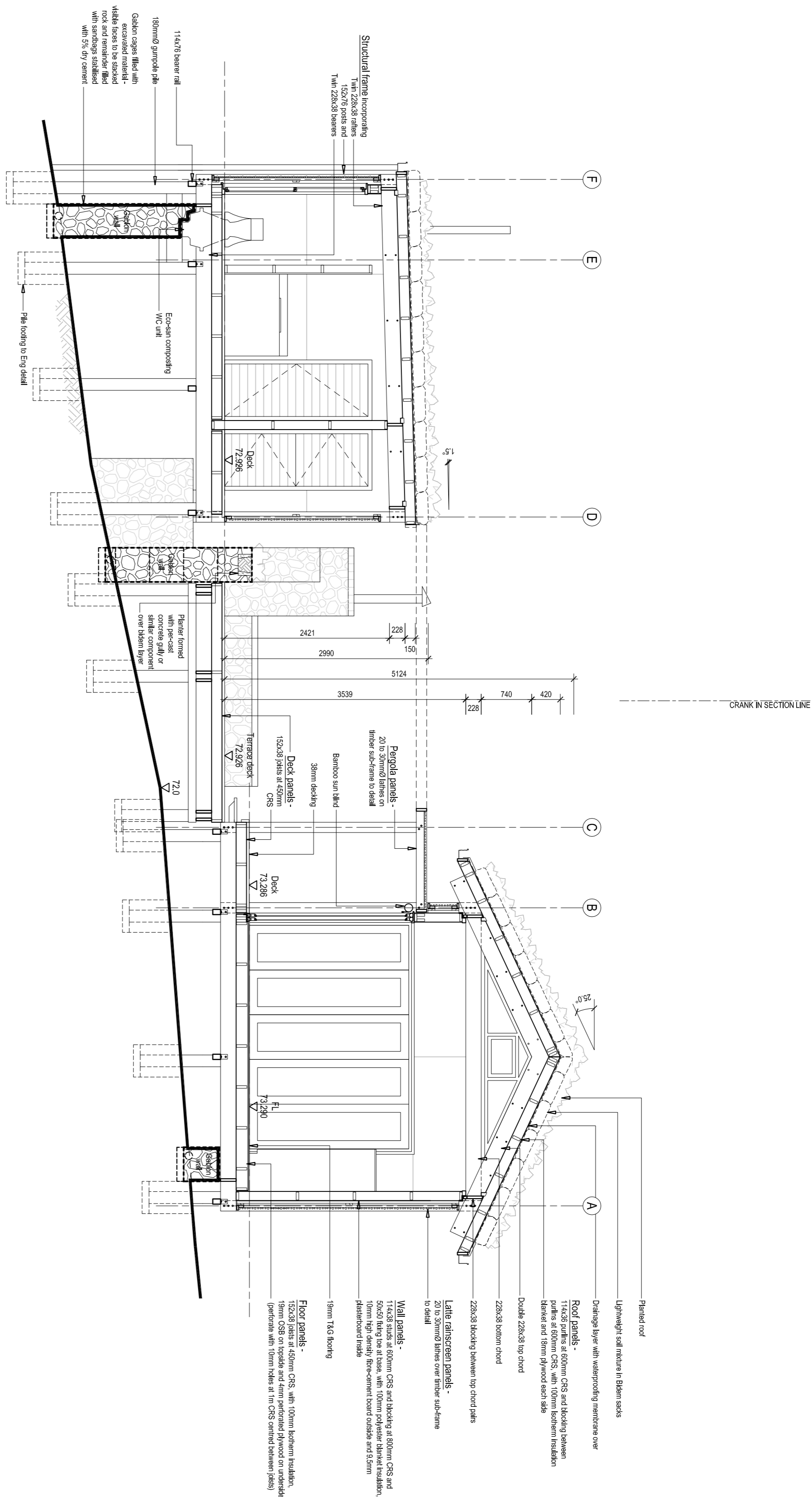
**Oudebosch Mountain cabins  
Kogelberg Nature Reserve**

drawing title

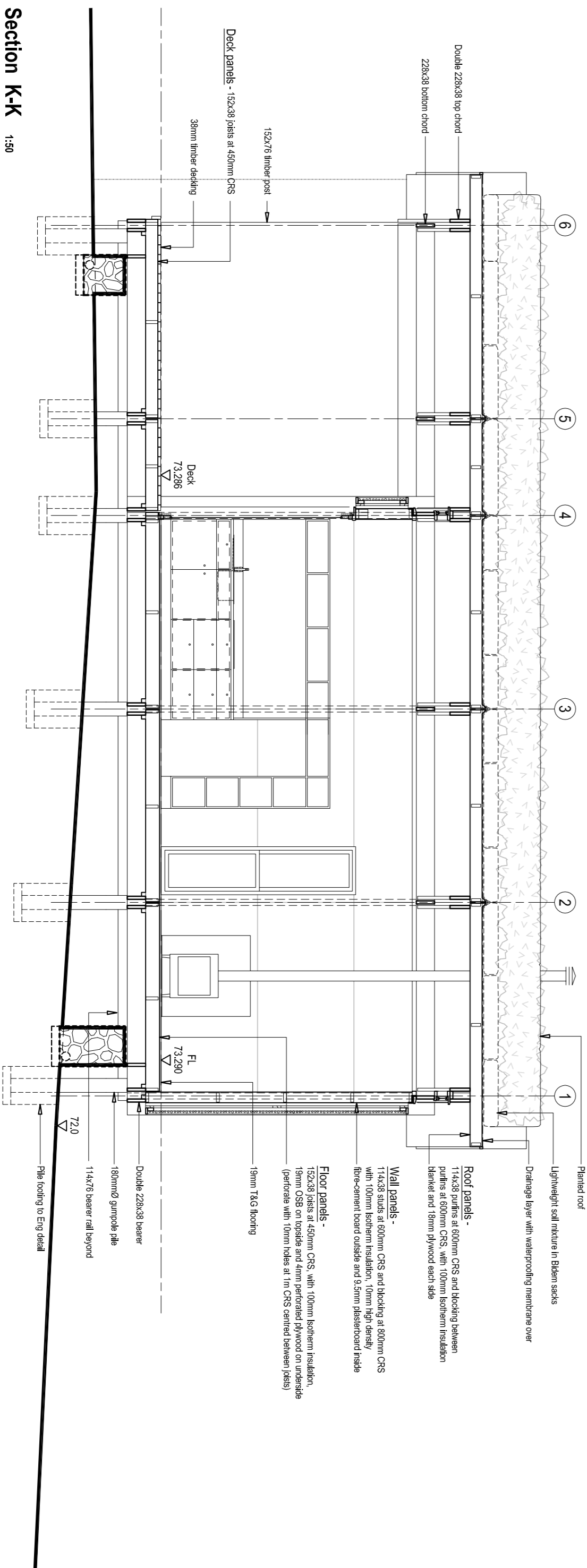
### Cabin 5 Elevations

scale	revision	date	description
1:50 at A1	first issue	13/01/2010	for information
	A	27/09/2010	as per revisions list
issue date	B	08/10/2010	as per revisions list
08 10 2010			
drawing number			
AD110 - 313			

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Section L-L 1:50



Section K-K 1:50

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**Oudebosch Mountain Cabins  
Kogelberg Nature Reserve**

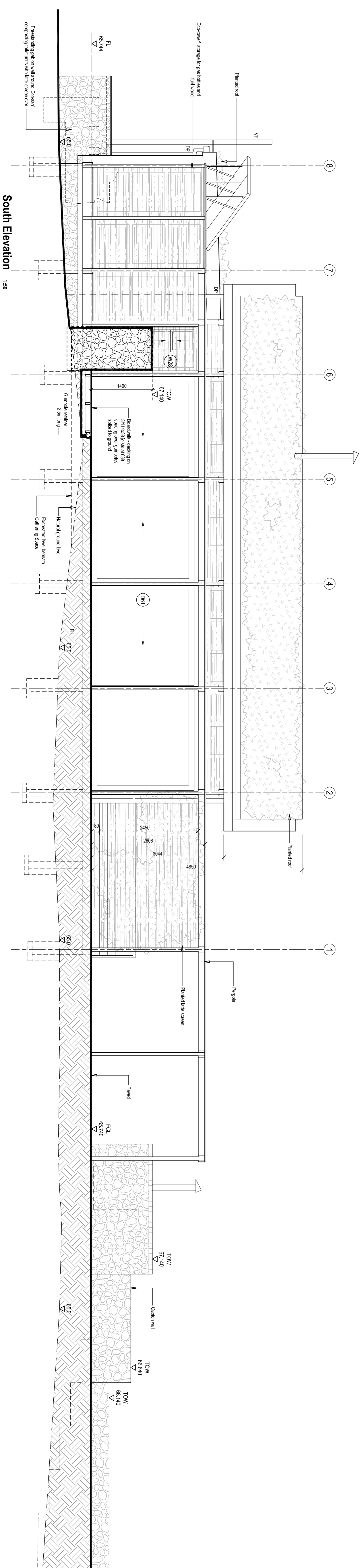
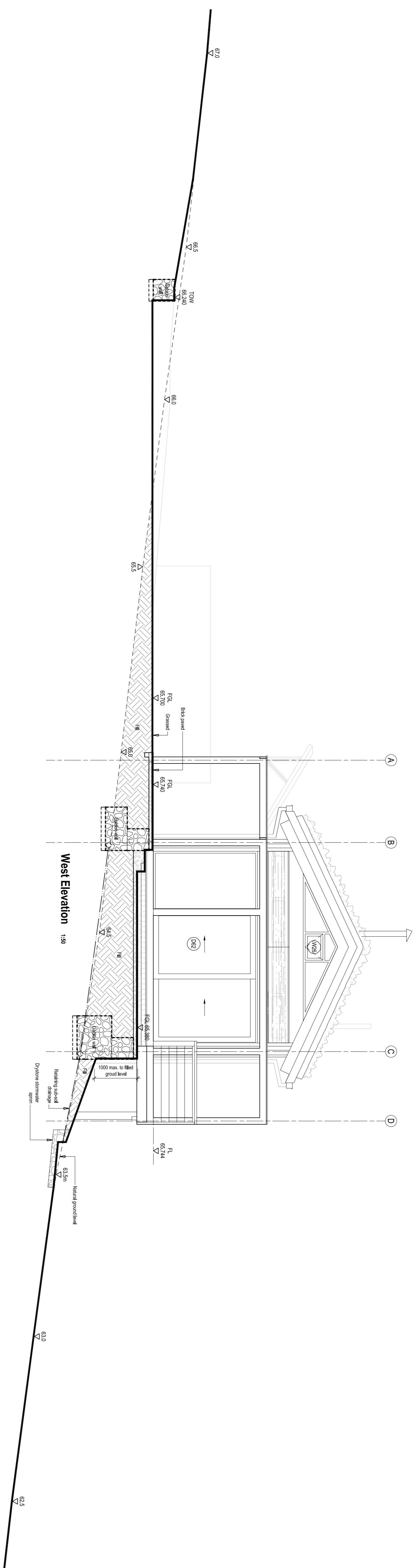
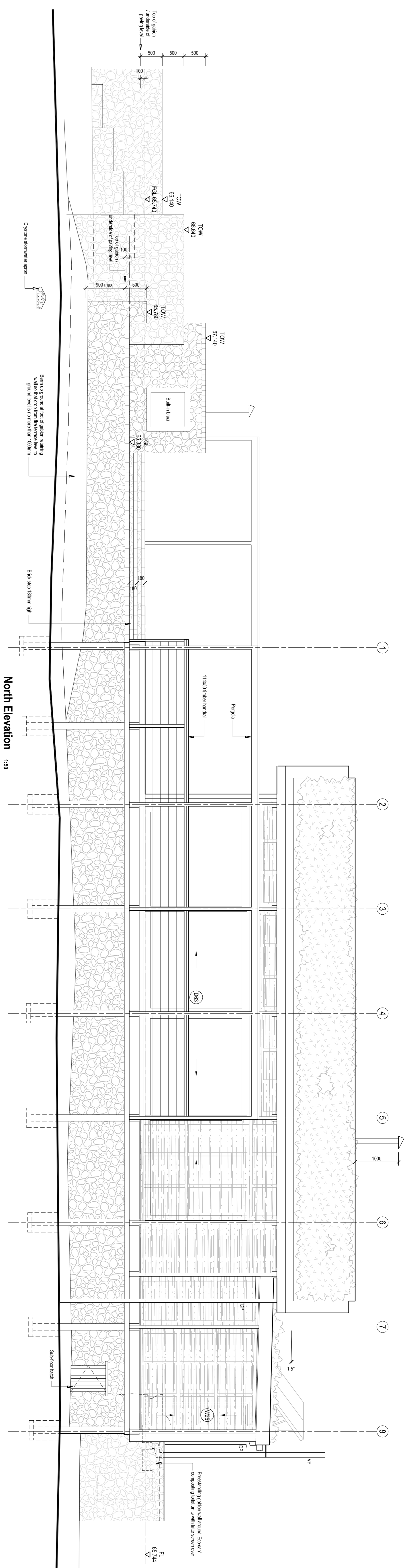
drawing title

## Cabin 5 Sections

scale	revision	date	description
<b>1:50 at A1</b>	first issue	13/01/2010	for information
	A	27/09/2010	as per revisions list
	B	08/10/2010	as per revisions list
issue date			
<b>08 10 2010</b>			
drawing number			
<b>AD10 - 314</b>			

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Oudebosch Mountain Cabins

Kogelberg Nature Reserve

drawing title

North, West and South Elevations

scale

1:50 at A1

issue date

08 10 2010

drawing number

AD110 - 316

revision

date

description

1st issue

13/01/2010

for information

A

27/09/2010

as per revisions list

B

08/10/2010

as per revisions list

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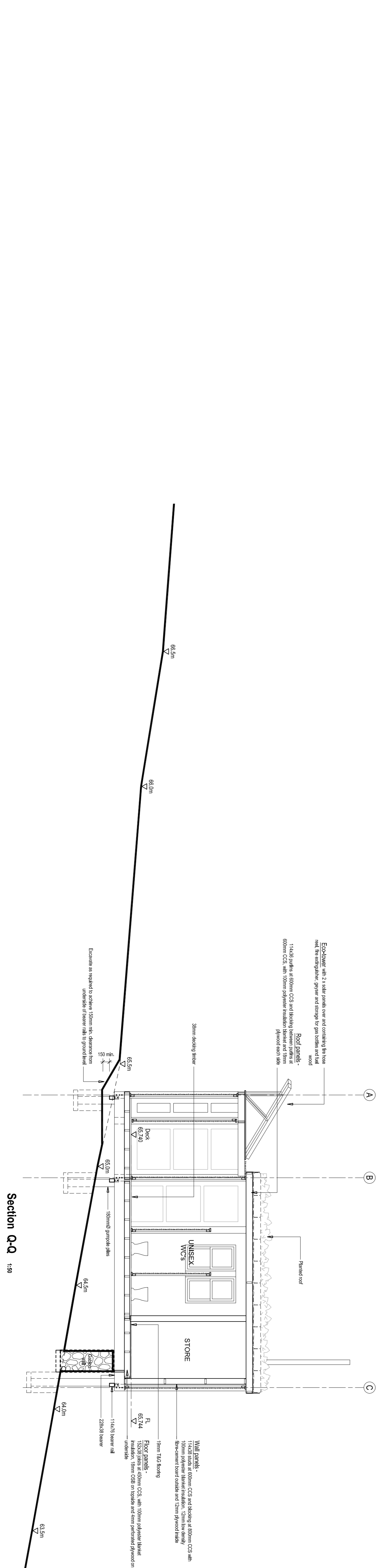
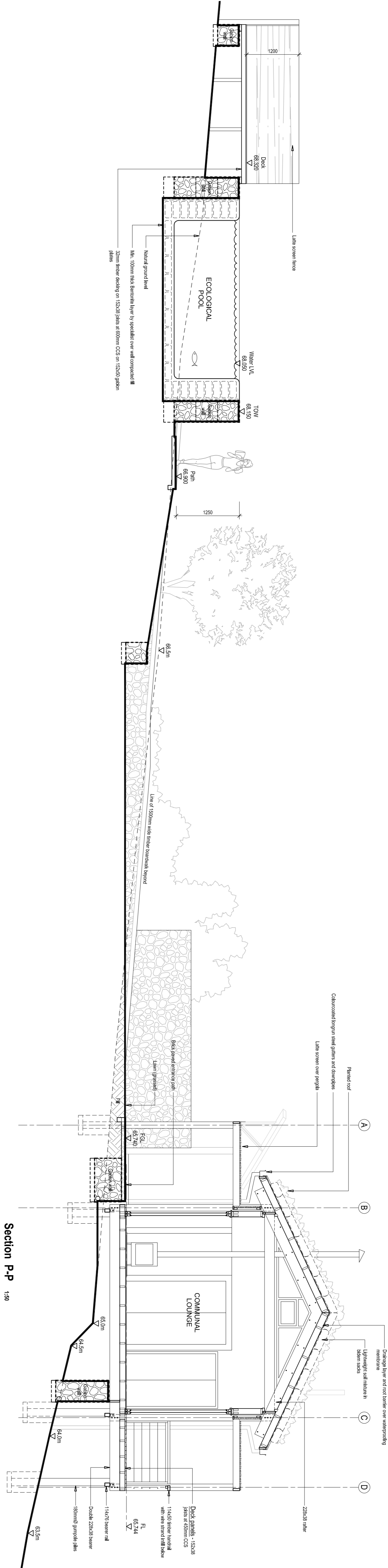
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**Oudebosch Mountain Cabins  
Kogelberg Nature Reserve**

### Gathering Space East Elevation and Sections M-M & N-N

scale	revision	date	description
<b>1:50 at A1</b>	first issue	15/01/2010	for information
	A	27/08/2010	as per revisions list
	B	06/10/2010	as per revisions list
<b>08 10 2010</b>			
<b>issue date</b>			
<b>drawing number</b>			
<b>AD110 - 317</b>			

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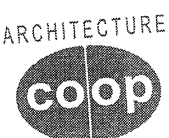
drawing title

Gathering Space  
Sections P-P & Q-Q

scale	revision	date	description
1:50 at A1	Final Issue	13/01/2010	for information
issue date	A	27/09/2010	as per revisions list
08 10 2010	B	08/10/2010	as per revisions list
drawing number	AD110	318	

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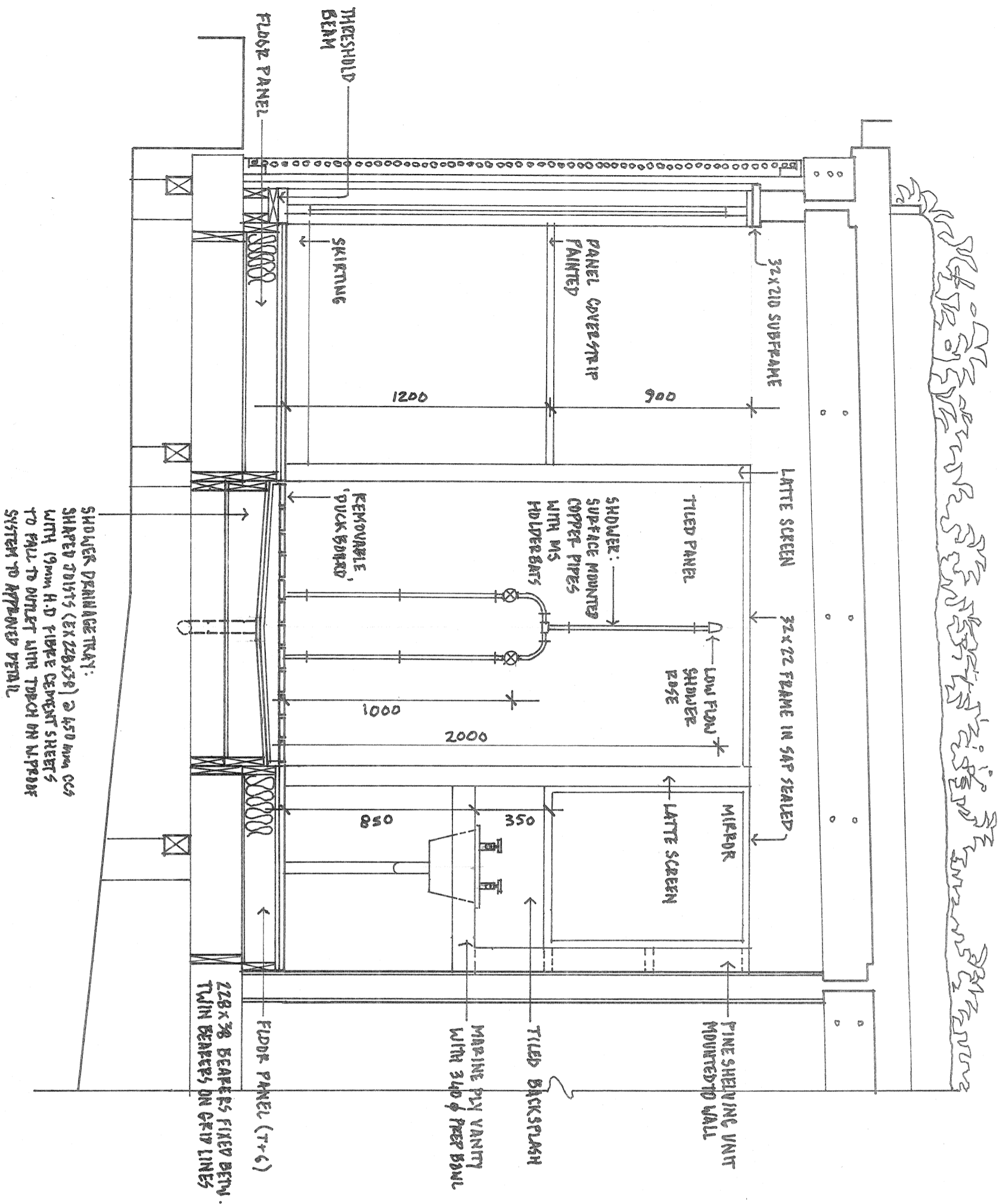


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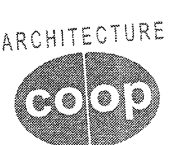
**Bathrooms:** Plan

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Oudebosch Mountain Cabins  
 Kogelberg Nature Reserve

project

drawing title

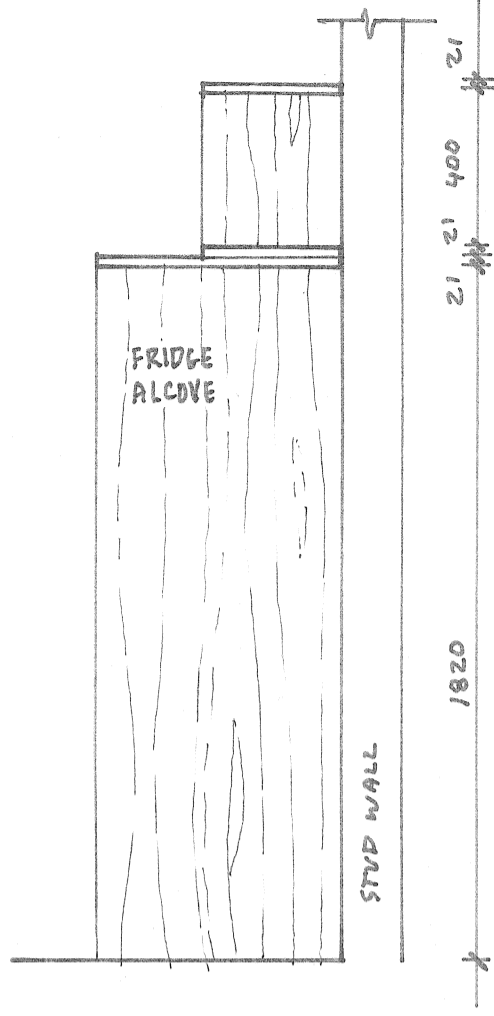
Bathrooms: Section

scale	revision	date	description
1:20 at A3			
issue date			
13 10 2010			
drawing number			
AD110 - 661			

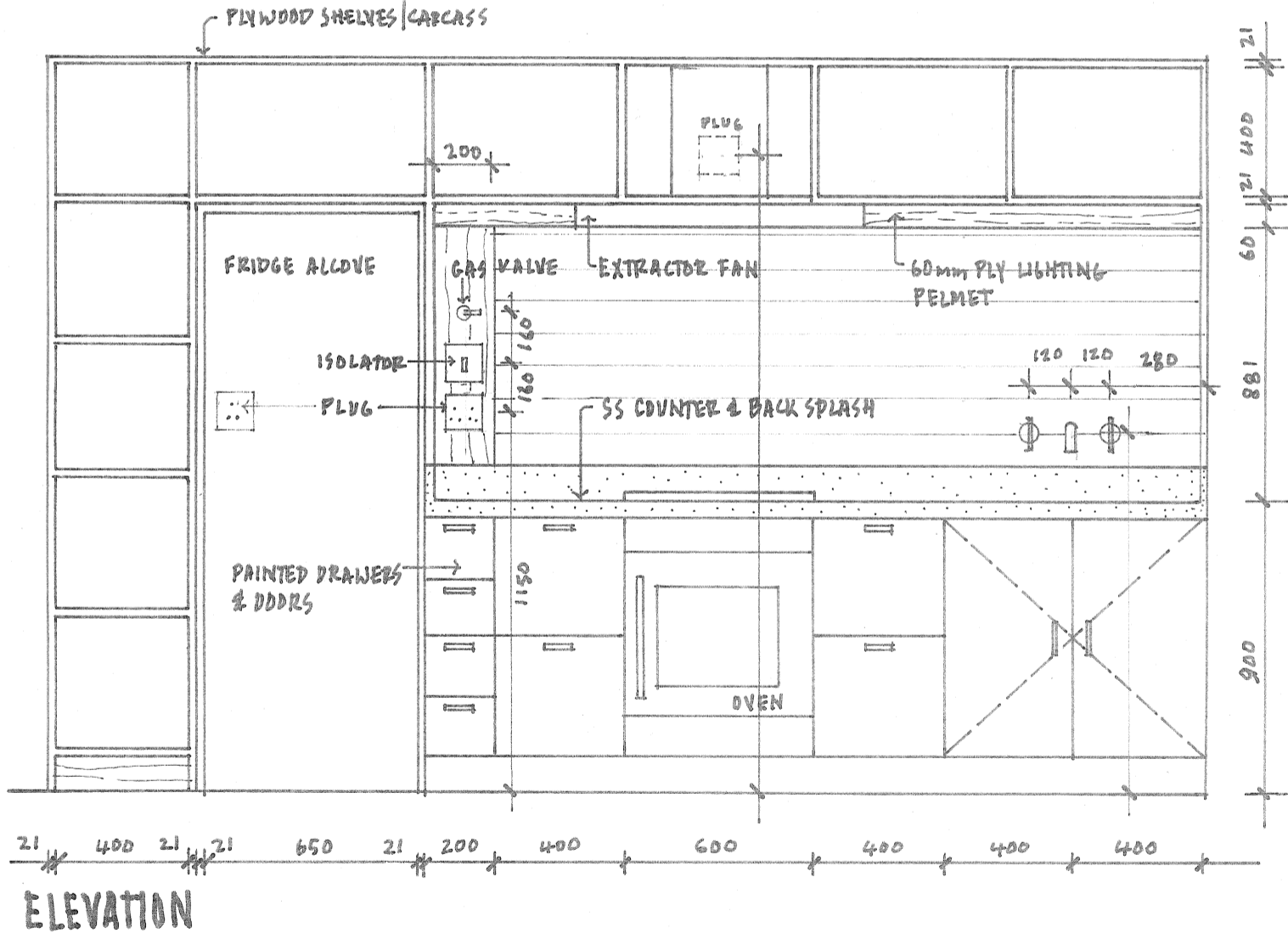
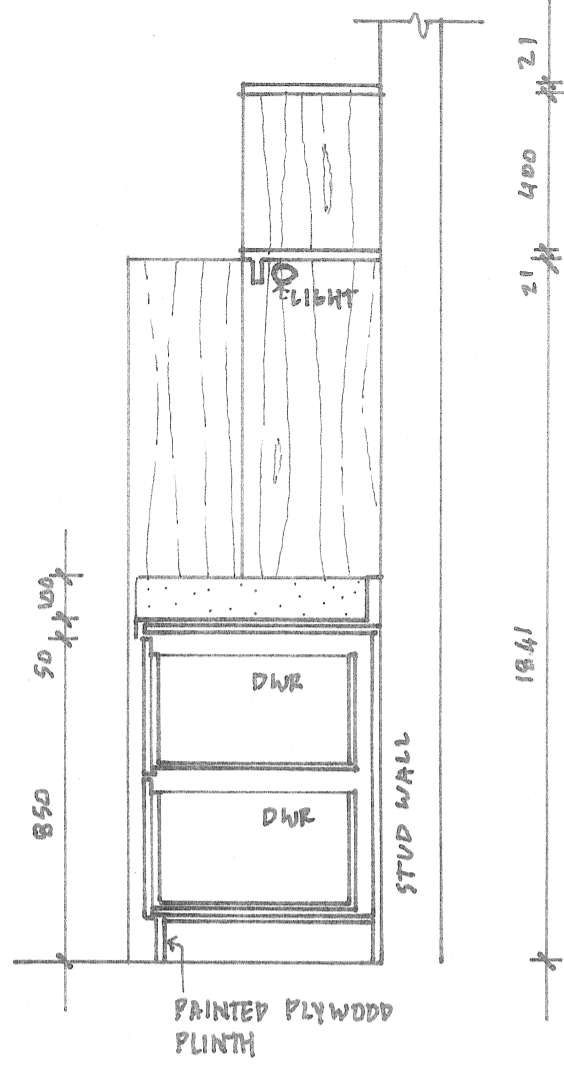
note

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SECTION:  
FRIDGE ALCOVE



SECTION:  
COUNTERTOP



ELEVATION



FOR TENDER

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project

Oudebosch Mountain Cabins  
Kogelberg Nature Reserve

drawing title

Cabins: Kitchen Cabinetry  
Sections and elevation

scale

1:20 @ A3

issue date

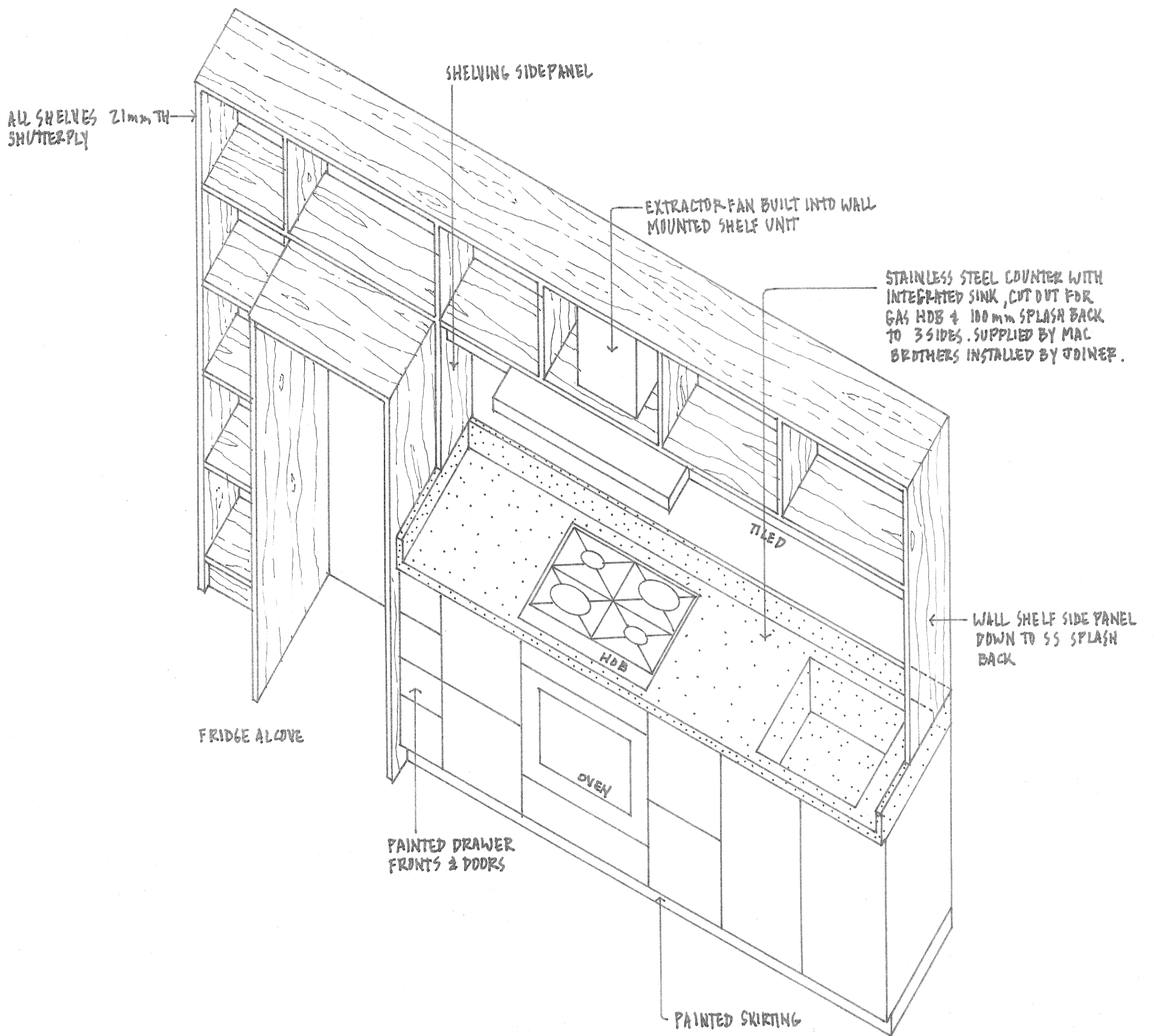
05 07 2011

drawing number

AD 110-572

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ISOMETRIC VIEW

FOR TENDER

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project

Oudebosch Mountain Cabins  
Kogelberg Nature Reserve

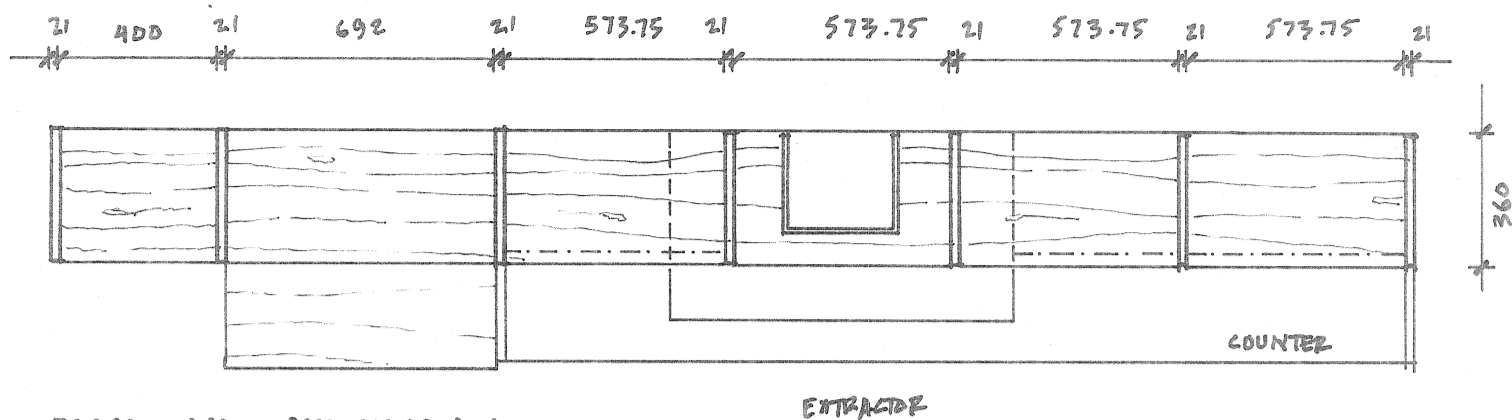
drawing title

Cabins: Kitchen Cabinetry  
Isometric

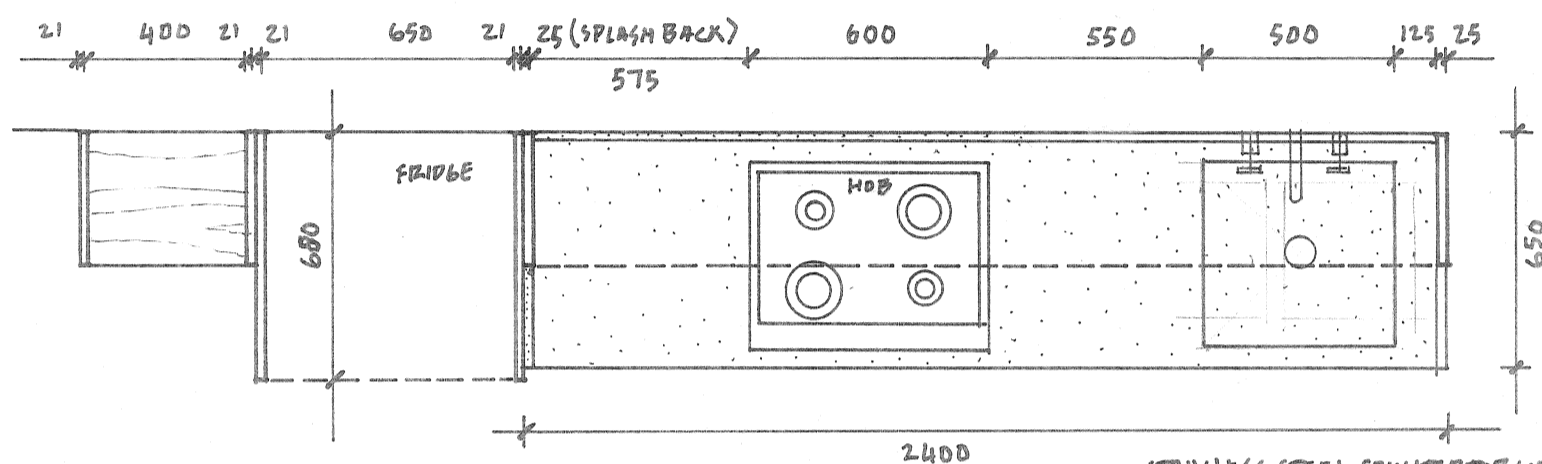
scale	revision	date	description
1:20 @ A3			
issue date			
05 07 2011			
drawing number			
AD 110-671			

note

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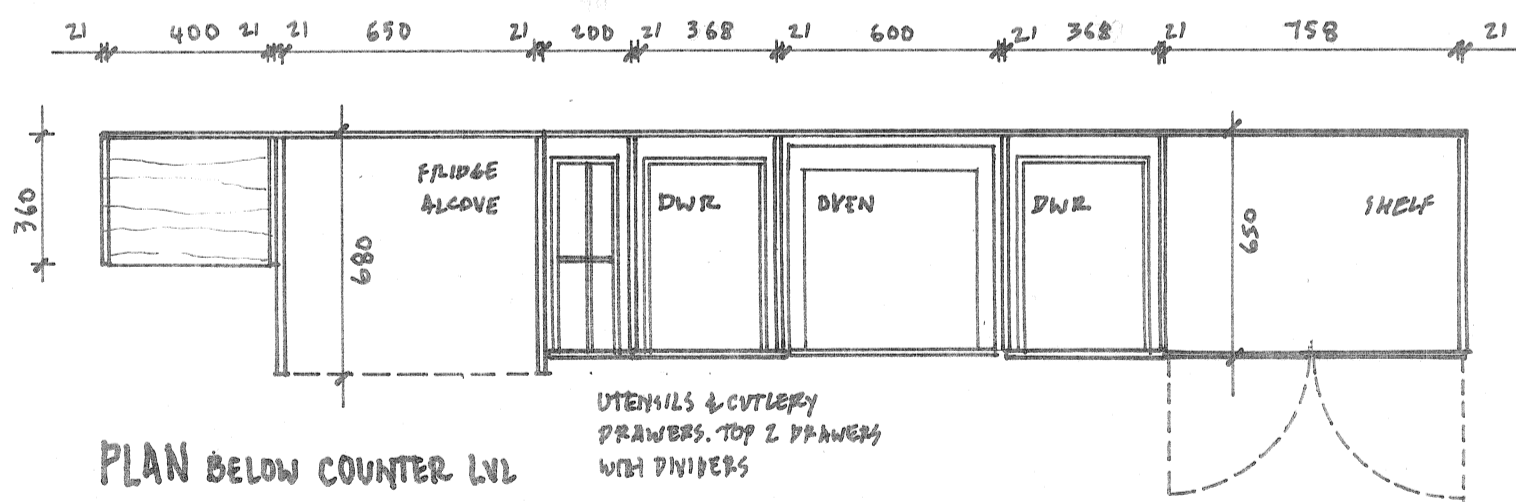


PLAN @ WALL SHELVING LVL.



PLAN @ COUNTER LVL

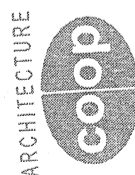
STAINLESS STEEL COUNTERTOP WITH 100mm h  
BACK & SIDE SPLASHES & INTEGRATED 500X500X  
250mm DEEP SINK.



PLAN BELOW COUNTER LVL

FOR TENDER

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project

Oudebosch Mountain Cabins  
Kogelberg Nature Reserve

drawing title

Cabins: Kitchen Cabinetry  
Plans

scale	revision	date	description
1:20 @ A3			
issue date			
05 07 2011			
drawing number			
AD 110-670			

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# 110, Oudebosch Mountain Cabins, Kogelberg Nature Reserve

Finishes Schedule / SC004

14th October 2010

## NOTES

1All dimensions to be checked on site and any variations noted to Architect prior to commencement of work.

2Finishes Schedule for costing purposes only. All finishes to be approved by client.

3Sealers and paints to be specially selected for minimised or no volatile organic compounds.

4All timber treated as required by SABS, typically as follows:

H2 - Internal	H3 - External above ground	H4 - In ground contact	H5 - In wet soils
Joists and studs internal to panels	Decking	Structural frame	Pole piles
	Joists	Pergola posts	Boardwalk bearers (poles)
	Shutter ply in roof panels	Fencing/screen posts	Posts carport and store
	Beading	Door and window subframes	
	Pergola frame	Boardwalk joists	
	Latte		

6All cut ends to be further treated as required

5All fixings to be evenly spaced and align perpendicular to substrate

6All timber to be free of defects of all kinds (warping, knots, shakes etc) to be straight, square and even

7All timber to be FSC certified.

8Composite boards, shutterply and particle board to be locally manufactured and from zero formaldehyde glues.

9All workmanship and materials to be the best of their respective kinds.

10All materials, components and items to be sourced as close to site as possible and to be of local or South African origin and manufacture. All materials data to be recorded in materials origin work sheet.

11Read this schedule in conjunction with all other drawings, schedules, specifications etc.

## EXTERIOR

Component	Substrate	Finish	Specification Notes
<b>Boardwalks</b>	RS 32x108 CCA treated SAP with nominal 3mm chamfered edge. All boards full length, width, flush, square and even	unfinished	fix with paired 75x6mm galv. rose head nails to 150mm diam H4 treated 114x38/152x38 joists, coach screwed to 180mm diam ground bearer ends half notched to receive joists
<b>Deck</b>	RS 32x108 CCA treated SAP with nominal 3mm chamfered edge. All boards full length, width, flush, square and even	unfinished	fix with paired 75x6mm galv. rose head nails to 150mm diam H4 treated 114x38/152x38 joists, coach screwed to bearers using GMS angle brackets to engineers details design. Noggins as required at handrail posts

<b>Balusters and handrail</b>	RS SAP	unfinished	114x38 posts at 1200mm ccs coach screwed to deck joists, notched to receive composite shaped handrail with 114x50 secret fixed to 50x50 support rail. Posts paired at 2400mm ccs to allow for wire tensioning
<b>Balustrade infill</b>	8g galv. wire at 150mm ccs	unfinished	Ensure that cables taught but cause no deflection in posts. Identify system for tensioning over time
<b>Terrace and plinth gabions</b>	gabion baskets with "rip wrap" stone from Grabouw quarry to approved sample	unfinished	Grey wire baskets with all visible faces carefully square face packed to approved sample
<b>Terrace</b>	brick paving	unfinished	Random broken brick pattern on sand blinding, on compacted fill. Dressed up to squared full brick edging bedded on mortan bed 100x100 RC edging
<b>Braai gabions</b>	gabion stone "rip wrap" stone from Grabouw quarry to approved sample	unfinished	As above with brick liner/ surround to braai unit to detail
<b>Brick pathways</b>	brick paving	unfinished	Random broken brick pattern on sand blinding, on compacted fill. With full brick edging to paths and header course to all steps and changes in level on 100x100 concrete ground beam as indicated in drawings.
<b>Road and parking areas</b>	Crusher dust	unfinished	To approved sample on compacted base course/ earth
<b>Latte screens</b>	25-30mmØ gum latte approx 30-32 latte per metre to approved sample	unfinished	Ring shank nailed to 75mm Ø CC H5 cca treated post at 1800mm ccs, on footings to engineers specification with 75mm Ø top and bottom rail to follow natural slope of ground/site. Intermediate posts between top and bottom rail at 900ccs. Latte fixed evenly alternating thick and thin ends between top and bottom rails to posts.
<b>Drainage lines</b>	Gabion stone		Meandering drainage lines with widened mulch basin areas to retain water lined with gabion stone pakced to slight falls flush with ground to slow flow of water and restrict erosion. "delta" outlet to wetland area all to later detail.
<b>Mulch basins</b>	Earth, stone, rubble		Grey water mulch basins formed with earth berms/swales on upper and lower edges. Approximately 1500x3000x 600 deep with 300mm stone/rubble with 75mm Ø waste and gulley to detail

STRUCTURAL FRAME			
Foundation posts	180mm Ø H5 treated poles	Unfinished	Set on precast concrete foundations with compacted fill all to engineers specifications. Notched to receive bearer rails.
Bearer rails	RS 114x76 SAP	Unfinished	To engineers details, to overhand foundations posts by 20mm. Notches as indicated on architects drawings
Bearers	RS paired 228x38mm SAP	Unfinished	To engineers details, coach screwed to bearer rails using GMS angle brackets
Posts	RS 152x76 SAP	Unfinished	To engineers details bolted to twin bearers and rafters with saw tooth connectors
Latte panels	25-30mmØ gum latte, 30-32 latte per meter	unfinished	Latte fixed to composite 114x38 and 76x38 frame with intermediate posts evenly spaced at approx 800mm ccs with 25x76 head and sill. Panels mounted on "hocks" located on structural frame posts as required
Threshold beams	Composite sliding door threshold support	Unfinished	To Engineers details
Box corners	RS SAP	painted / sealed TBA	22x76 pre jointed corner closure as indicated in details
Windows & sliding / folding doors	glazed aluminium	as finished	See door and window schedule
Hinged doors	solid timber doors	paint	allow 3 coats, see door and window schedule
Door and window subframes	SAP subframe	Sealed	32x210 sealed timber subframes to all doors and window openings to detail with square 22x22mm sealed beads at interior and exterior of aluminium frames
Rafters and bottom chord	Composite RS SAP	Unfinished	twin 228x38 with 76x 200 rafter between bolted together with tooth plate connectors and to posts to engineers detail
Roof soffit	Shutterply	Sealed	Best quality facing with 32x22mm sealed cover strips at 600mm ccs on fixing lines between rafters
Roof fascia / barge	RS SAP	sealed	220x32 all round fixed to face of roof panels
Roof	planted	unfinished	2 layers Derbigum to specialist detail, installation and guarantee, with Dorken ms20 dimple sheet and composite earth to landscapers specification. Edges of earth retained using reclaimed timber from cabins to detail
Pergola	RS SAP with latte	unfinished	114x38 frame and intermediate supports with 152x38 fascia all bolted to 152x76 posts with latte as per latte panel

## INTERIORS

Component	Substrate	Finish	Specification Notes
<b>Floor panels</b>	Composite fibre-cement sheet, joists, framing, bracing and shutterply panels coach screwed to twin bearers to Engineers detail	unfinished	Below 12mm medium density Nutek fibre cement sheet with ventilation holes unpainted. Fixed to 152x38 joist framework at 450mm ccs. With 100mm isotherm insulation to all cavities. Internally 18mm shutterply to receive T and G.
<b>Floor panel finish</b>	PAR 22x108 SAP T & G	sealed	T & G secret fixed to joists
<b>Fire threshold</b>		1200x900x1.2mm steel plate	beneath woodfire
<b>Skirting</b>	RS SAP	Painted	114x22 with shadow groove
<b>Wall panels</b>	Composite fibre-cement sheet, studs, framing, bracing and shutterply panels coach screwed to structural frame to Engineers detail	Externally unfinished, internally painted	Externally 12mm medium density Nutek fibre cement sheet unpainted with 50mm EPDM gaskets to all joints and flashings as indicated on drawings. On 114x38 stud framework at 600mm ccs to align with joints in panels. With 100mm isotherm insulation to all cavities. Internally 12mm shutterply painted with horizontal joints at 1200mm ccs to align with top of door and window heads with 32x22mm cover strips painted.
<b>Wall panels - door head</b>	As per wall panels	As per wall panels	As per wall panels to Engineers detail
<b>Wall panels special finishes</b>	fibre-cement sheet	1200x900x1.2mm steel plate	behind woodfire
<b>Wall panels special finishes</b>	fibre-cement sheet	tiled	each side of grid 7 bathroom wall
<b>Wall panels special finishes</b>	fibre-cement sheet	800x800mm mirror	above bathroom vanity
<b>Custom trim to top of walls</b>	PAR SAP	sealed	on grids A & B walls.....
<b>Roof panels</b>	Composite shutterply sheet, rafters, framing, bracing and shutterply panels coach screwed to composite rafters to Engineers detail	Internally sealed, externally unfinished	Ceiling best quality 18mm treated shutterply sheet with 32x22mm cover strips at 600mm ccs to all fixing lines all sealed. Fixed to 114x38 rafter framework at 600mm ccs. With 100mm isotherm insulation to all cavities. Externally 18mm shutterply to receive waterproofing.
<b>Windows &amp; sliding / folding doors</b>	glazed aluminium	as finished	See door and window schedule

# 110, Oudebosch Mountain Cabins, Kogelberg Nature Reserve

Schedule of Colours / SC005

11th October 2011

## NOTES

- 1 All dimensions to be checked on site and any variations noted to Architect prior to commencement of work.
- 2 Finishes Schedule for costing purposes only. All finishes to be approved by client.
- 3 All plants, varnishes, lacquer undercoats etc from Harlequin Paints specially selected for minimised or no volatile organic compounds.
- 4 All workmanship and materials to be the best of their respective kinds.  
All materials, components and items to be sourced as close to site as possible and to be of local or South African origin and manufacture. All materials data to be recorded in materials origin work sheet.
- 5
- 6 Read this schedule in conjunction with all other drawings, schedules, specifications etc.

## GENERAL EXTERIOR

Component	Substrate	Finish	Product:	Colour ref:
Decks	Treated Sa Pine	Sealed	Multi Shield	Clear
Braai brickwork/concrete	Plaster on brickwork to external faces	Natural plaster	none	none

## GENERAL ENVELOPE

Component	Substrate	Finish	Product:	Colour ref:
Windows & sliding / folding doors	glazed aluminium	Powder coated		Dark umber
Gutters and downpipes	aluminium	Powder coated		Dark umber
Hinged doors	solid timber doors	Sealed	Exterior clear varnish	Clear
Door Frames	timber	Painted	Water based enamel	to match Plascon Expressions - Plaster E16-2
Door and window subframes	SAP subframe	Sealed	Exterior clear varnish	Tinted
Fibre cement sheeting	Fibre cement	Painted	Hump Primer, Washable matt	to match Plascon Expressions - Lark E20-7
Structural timber - Posts, rafters and bottom chord	Composite RS SAP	Sealed	Multi Shield	Clear
Roof soffit	Shutterply with pine cover strips	Sealed	Exterior clear varnish	Clear
Roof fascia / barge	RS SAP	sealed	Multi Shield	Clear
Roof	Exposed derbigum to be painted with silver roof paint then coated with grey roof paint...	exposed edges	to be confirmed	

## GENERAL INTERIORS

Component	Substrate	Finish	Product:	Colour ref:
Tongue & groove floor	SA Pine	sealed	Wooden floor lacquer	Clear
Fire threshold	Steel	To match fireplace	as supplied fire proof paint	To match
Skirting	RS SAP	Sealed	Wooden floor lacquer	Clear
Wall lining, cover strips, skirting - general	Shutterply/ SA Pine	Painted	Washable matt	to match Plascon Expressions - Plaster E16-2
Wall lining, cover strips, skirting - head board walls bedrooms	Shutterply/SA Pine	Painted	Washable matt	Selected, see bedrooms below
Custom trim to top of walls	PAR SAP	sealed	Exterior clear varnish	Clear
Door and window subframe	PAR SAP	Sealed	Exterior clear varnish	Clear
Ceilings and cover strips	Shutterply with pine cover strips	Sealed	Exterior clear varnish	Clear

## CABIN 1

Component	Substrate	Finish	Product:	Colour ref:
Door frames:	timber	Painted	Water based enamel	to match Plascon Expressions - Plaster E16-2
Internal doors	timber	Sealed	Exterior clear varnish	Clear

Kitchen cabinet doors, headboard walls, wall outside bathrooms	Plywood	Painted	Water based enamel	to match Plascon Expressions - Tent E16-5
Tiles Kitchen	Fibre cement	Glass tile	40x200	Mid Grey
Tiles Bathroom	Fibre cement	Glass tile	40x200	Oyster Beige
Blinds to bedrooms	interior designer			
Blinds bathrooms	interior designer			
<b>CABIN 2</b>				
<i>Component</i>	<i>Substrate</i>	<i>Finish</i>	<i>Product:</i>	<i>Colour ref:</i>
Door frames:	timber	Painted	Water based enamel	to match Plascon Expressions - Plaster E16-2
Internal doors	timber	Sealed	Exterior clear varnish	Clear
Headboard walls, wall outside bathrooms	Plywood	Painted	Water based enamel	To match Plascon Expressions SuperShores E21-5
Kitchen cabinet doors	Plywood	Painted	Water based enamel	To match Plascon Expressions Petawana E21-6
Tiles Kitchen	Fibre cement	Tile	10x200	Chrome green
Tiles Bathroom	Fibre cement	Tile	10x200	Lemon Grass
Blinds to bedrooms	interior designer			
Blinds bathrooms	interior designer			
<b>CABIN 3</b>				
<i>Component</i>	<i>Substrate</i>	<i>Finish</i>	<i>Product:</i>	<i>Colour ref:</i>
Door frames:	timber	Painted	Water based enamel	to match Plascon Expressions - Plaster E16-2
Slatted doors	timber	Sealed	Exterior clear varnish	Clear
Kitchen cabinet doors, headboard walls, wall outside bathrooms	Plywood	Painted	Water based enamel	To match Plascon Expressions Normand E20-5
Tiles Kitchen	Fibre cement	Tile	20x200	Beluga green
Tiles Bathroom	Fibre cement	Tile	20x200	Soft Grey
Blinds to bedrooms	interior designer			
Blinds bathrooms	interior designer			
<b>CABIN 4</b>				
<i>Component</i>	<i>Substrate</i>	<i>Finish</i>	<i>Product:</i>	<i>Colour ref:</i>
Door frames:	timber	Painted	Water based enamel	to match Plascon Expressions - Plaster E16-2
Slatted doors	timber	Sealed	Exterior clear varnish	Clear
Kitchen cabinet doors, headboard walls, wall outside bathrooms	Plywood	Painted	Water based enamel	To match Plascon Expressions Platonic E23-5
Tiles Kitchen	Fibre cement	Tile	20x200	Oyster Mid Grey
Tiles Bathroom	Fibre cement	Tile	20x200	Arctic White
Blinds to bedrooms	interior designer			
Blinds bathrooms	interior designer			
<b>CABIN 5</b>				
<i>Component</i>	<i>Substrate</i>	<i>Finish</i>	<i>Product:</i>	<i>Colour ref:</i>
Door frames:	timber	Painted	Water based enamel	to match Plascon Expressions - Plaster E16-2
Slatted doors	timber	Sealed	Exterior clear varnish	Clear
Kitchen cabinet doors, headboard walls, wall outside bathrooms	Plywood	Painted	Water based enamel	to match Plascon Expressions - Tent E16-5
Tiles Kitchen	Fibre cement	Tile	20x200	Beluga suede
Tiles Bathroom	Fibre cement	Tile	50x250	Polar white frosted
Blinds bathrooms	interior designer			
Blinds bedrooms	interior designer			
<b>Gathering space</b>				
<i>Component</i>	<i>Substrate</i>	<i>Finish</i>	<i>Product:</i>	<i>Colour ref:</i>
Slatted doors (store, bathroom, WC's)	timber	Sealed	Exterior clear varnish	Clear
Kitchen cabinet doors	Plywood	Painted	Water based enamel	to match Plascon Expressions - Tent E16-5
Cabinet door to Gathering space	Steel	adhesive vinyl map		
Tiles Kitchen	Fibre cement	Tile	50x250	Polar white frosted
Tiles Bathroom	Fibre cement	Tile	50x250	Polar white frosted
Blinds to gathering space	interior designer	Block out blind		